

**City of Harrisburg Planning Commission**  
**Agenda for April 8, 2025, Meeting at 6:00 P.M.**  
**Heritage Board Room**  
**200 E. Willow Street, Harrisburg, SD**

**Call to Order and Roll Call**

**Approval of Agenda**

**Approval of the Meeting Minutes**

1. Approve the draft minutes of the March 11, 2025 meeting.

**Old Business**

**Public Comment on Non-Agenda Items**

**Public Hearings**

1. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding an application for an amendment to a Conditional Use Permit for an off-premises digital sign at 27249 SD Highway 115. (Cyclops Media)
2. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a Conditional Use Permit application to allow a contractor shop(s) on the property legally described as Lot 5, Block 3, Flatiron Crossing Addition, 935 Flatiron Avenue, Parcel # 271.28.03.005 (RGDC, LLC).
3. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a Conditional Use Permit application to allow a contractor shop(s) on the property legally described as Lot 3, Block 3, Flatiron Crossing Addition, 919 Flatiron Avenue, Parcel # 271.28.03.003 (Grand Vision Homes).
4. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a Conditional Use Permit application to allow a contractor shop(s) on the property legally described as Lot 4, Block 3, Flatiron Crossing Addition, 927 Flatiron Avenue, Parcel # 271.28.03.004 (Voegeli Construction).
5. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a Conditional Use Permit application to allow a contractor shop(s) on the property legally described as Lot 6, Block 3, Flatiron Crossing Addition, 943 Flatiron Avenue, Parcel # 271.28.03.006 (Brian Eich Plumbing).
6. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding amendments to Section 3.5 of the City of Harrisburg Zoning Regulations.
7. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding amendments Amendment to the Comprehensive Plan Future Land Use Map.

**New Business**

1. Review for approval an application for an amendment to a Conditional Use Permit for an off-

**City of Harrisburg Planning Commission**  
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premises digital sign at 27249 SD Highway 115. (Cyclops Media)

2. Review for approval a Conditional Use Permit application to allow a contractor shop(s) on the property legally described as Lot 5, Block 3, Flatiron Crossing Addition, 935 Flatiron Avenue, Parcel # 271.28.03.005 (RGDC, LLC).
3. Review for approval a Conditional Use Permit application to allow a contractor shop(s) on the property legally described as Lot 3, Block 3, Flatiron Crossing Addition, 919 Flatiron Avenue, Parcel # 271.28.03.003 (Grand Vision Homes).
4. Review for approval a Conditional Use Permit application to allow a contractor shop(s) on the property legally described as Lot 4, Block 3, Flatiron Crossing Addition, 927 Flatiron Avenue, Parcel # 271.28.03.004 (Voegeli Construction).
5. Review for approval a Conditional Use Permit application to allow a contractor shop(s) on the property legally described as Lot 6, Block 3, Flatiron Crossing Addition, 943 Flatiron Avenue, Parcel # 271.28.03.006 (Brian Eich Plumbing).
6. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding amendments to Section 3.5 of the City of Harrisburg Zoning Regulations.
7. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding amendments Amendment to the Comprehensive Plan Future Land Use Map.
8. Review and recommendation to City Council the petitioned annexation of the NW1/4, except Tract A in the SW1/4 of the NW1/4, and the SW1/4 except Tract 1 of Oppold Addition, all in Section 28, Township 100 North, Range 50 West and a portion of Tract 1 of Oppold Addition in Section 28, Township 100 North, Range 50 West all of Lincoln County.
9. Review and recommendation to City Council the Preliminary Plan for Artessa Addition of the NW1/4, except Tract A in the SW1/4 of the NW1/4, and the SW1/4 except Tract 1 of Oppold Addition, all in Section 28, Township 100 North, Range 50 West of Lincoln County.

**Administrative Reports and Commission Input**

1. Commission input.
2. Building permit reports for March 2025.
3. Plats filed in March 2025
  - Tracts 1, 2, 3, and 4 of Dakota Farms Addition

**Adjournment**

**City of Harrisburg Planning Commission**  
**Draft Meeting Minutes for March 11, 2025, Meeting at 6:00 P.M.**  
**Heritage Board Room**  
**200 E. Willow Street, Harrisburg, SD**

**Call to Order and Roll Call**

The regular meeting of the City of Harrisburg Planning Commission was called to order by Chairperson Bicknase at 6:00 p.m. on March 11, 2025. Commissioners Jon Kraft, Collin McKenzie, Rob Doyen, Jason Schipper, Matthew Irish, Jim Nielsen, and Chairperson Bruce Bicknase were present. Chad Huwe and Jen Cleveland were present on behalf of City Planning & Zoning, City Alderman Chris Kindt, City Alderman Pete Wodzinski and City Administrator Amanda Mack were also present. Public present include Mitch Mergen, on behalf of Stockwell Engineering, Nic McConnell, Jeffrey Skinner, Doug Allen, Michael Verley, Ben White, and Ryan Olson.

**Approval of Agenda**

Chairperson Bicknase asked if there were any changes to the meeting agenda. No changes were presented. A motion was made by Commissioner Schipper, seconded by Commissioner Nielsen, to approve the agenda as presented. A voice vote was taken. Yeas: Kraft, McKenzie, Doyen, Schipper, Irish, Nielsen, Bicknase. Nays: None. Motion carried 7-0.

**Approval of the Meeting Minutes**

1. Approve the draft minutes of the February 11, 2025 meeting.

Chairperson Bicknase asked if there were any changes to the draft meeting minutes for February 11, 2025. Rob Doyen corrected the name of listed public present: Nick Gustafson was present, not Nathan Gustafson. A motion was made by Commissioner Nielsen, seconded by Commissioner Doyen, to approve the meeting minutes with the correction. A voice vote was taken. Yeas: Kraft, McKenzie, Doyen, Schipper, Irish, Nielsen, Bicknase. Nays: None. Motion carried 7-0.

**Old Business**

No old business was discussed.

**Public Comment on Non-Agenda Items**

No public comment was heard.

**Public Hearings**

1. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a Conditional Use Permit application to allow mini warehouses on the property legally described as Lot 3, Block 1, Flatiron Crossing Addition, Parcel # 270.62.66.4010 (Black Dog, LLC).  
Chairperson Bicknase opened the public hearing at 6:02 p.m. No public comment was received.
2. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a Conditional Use Permit application to allow a telecommunications tower on the property legally described as Tract 1, Slack High School Addition, except Lot 1 of Tract 1 and Lot H-1, Parcel # 270.73.00.100 (Verizon Wireless).  
Chairperson Bicknase opened the public hearing at 6:02 p.m. No public comment was received.

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**Draft Meeting Minutes for March 11, 2025, Meeting at 6:00 P.M.**  
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3. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a request to rezone Lot 2, Block 1, of Rix Addition, Parcel 270.84.01.002 (1434 Mary Place) from R-3 Multi-Family Residential to GB General Business (S&Z, LLC)  
Chairperson Bicknase opened the public hearing at 6:02 p.m. Nic McConnell posed questions about the proposal. No additional public comment was received; therefore, Chairperson Bicknase closed the public hearings at 6:03 p.m.

**New Business**

1. Review for approval a Conditional Use Permit application to allow mini warehouses on the property legally described as Lot 3, Block 1, Flatiron Crossing Addition, Parcel # 270.62.66.4010 (Black Dog, LLC).  
Chad Huwe presented a summary of the application and supplemental submittals. The applicant, Doug Allen, spoke and answered numerous questions from the Planning Commission. Chairperson Bicknase asked Alderman Kindt and Alderman Wodzinski if they had any additional input on the proposal. Both made comments in support of the application due to its location. Commissioner Doyen made a motion, seconded by Commissioner Nielsen, to approve the conditional use permit and submitted site plan allowing mini warehouses on the subject property. A voice vote was taken. Yeas: Kraft, McKenzie, Doyen, Schipper, Irish, Nielsen, Bicknase. Nays: None. Motion carried 7-0.
2. Review for approval a Conditional Use Permit application to allow a telecommunications tower on the property legally described as Tract 1, Slack High School Addition, except Lot 1 of Tract 1 and Lot H-1 Lot, Parcel # 270.73.00.100 (Verizon Wireless).  
Chad Huwe presented a summary of the application and supplemental submittals. The applicant, Jeffrey Skinner was present on behalf of Verizon Wireless. He spoke and answered questions from the Planning Commission. Commissioner Doyen made a motion, seconded by Commissioner Nielsen, to approve the conditional use permit allowing a telecommunications tower on the subject property. Commissioner McKenzie commented he would like to see the school and applicant use the project as an educational opportunity for students interested in the telecommunications career field. A voice vote was taken. Yeas: Kraft, McKenzie, Doyen, Schipper, Irish, Nielsen, Bicknase. Nays: None. Motion carried 7-0.
3. Review and recommendation to City Council a request to rezone Lot 2, Block 1, of Rix Addition, Parcel 270.84.01.002 (1434 Mary Place) from R-3 Multi-Family Residential to GB General Business (S&Z, LLC).  
Chad Huwe presented a summary of the application and supplemental submittals. The applicant, Michael Verley, spoke and answered questions from the Planning Commission. Nic McConnell, a nearby resident, spoke against the rezone application. After extensive discussion, Commissioner Nielsen, seconded by Commissioner Doyen, made a motion to recommend approval to City Council. A roll call vote was taken. Yeas: Kraft, McKenzie, Doyen, Irish, Nielsen. Nays: Schipper, Bicknase. Motion carried 5-2.
4. Review and recommendation to City Council: Plat for Tracts 1, 2, 3, & 4 of Dakota Farms Addition, Section 18, Township 99 North, Range 49 West and Pre-annexation agreement.  
Chad Huwe presented a summary of the application and future land use of the area. Ben White, with HR Green, Inc., was present on behalf of the property owner, to speak and

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answer questions from the Planning Commission. Commissioner McKenzie, seconded by Commissioner Kraft, made a motion to recommend approval to the City Council. A voice vote was taken. Yeas: Kraft, McKenzie, Doyen, Schipper, Irish, Nielsen, Bicknase. Nays: None. Motion carried 7-0.

5. Review and recommendation to City Council the Preliminary Plan for Orchard's Edge Addition. Chad Huwe presented a summary of the application. Ryan Olson was present to represent the owners group. Mitch Mergen, on behalf of Stockwell Engineering, was present to give an in-depth review of the submitted preliminary plan. Commissioner Doyen, seconded by Commissioner McKenzie, made a motion to recommend approval to the City Council. A voice vote was taken. Yeas: Kraft, McKenzie, Doyen, Schipper, Irish, Nielsen, Bicknase. Nays: None. Motion carried 7-0.
6. Review for approval an application to keep chickens at 615 Emmett Trail. Jen Cleveland presented the application and supplemental submittals. After extensive discussion regarding visibility barriers, a motion was made by Commissioner McKenzie, seconded by Commissioner Doyen, to approve the application with a 5' visibility barrier. A voice vote was taken. Yeas: Kraft, McKenzie, Doyen, Irish, Bicknase. Nays: Schipper, Nielsen. Motion carried 5-2.

#### **Administrative Reports and Commission Input**

1. Commission input.

Chad Huwe presented the Planning Commission with information from neighboring communities with zoning regulations allowing reduced lot sizes and reduced setbacks in low density residential districts.

Commissioner Schipper inquired about zoning regulations for kennels and doggy daycares.

City Administrator Amanda Mack provided information to the Planning Commission regarding sales tax and property taxes collected by the city for mini-warehouse and contractor shop uses within the city and the state laws pertaining to such.
2. Building permit reports for February 2025.
3. Plats filed in February 2025
  - Lots 3, 4, 6A, 7A, and 9 in Block 1 and Lots 1, 2, 4, and 5 in Block 2 of the Whiskey Creek Addition

#### **Adjournment**

A motion to adjourn was made at 7:38 p.m. by Commissioner Doyen, seconded by Commissioner Schipper. A voice vote was taken. Yeas: Kraft, McKenzie, Doyen, Schipper, Irish, Nielsen, Bicknase. Nays: None. Motion carried 7-0.

**City of Harrisburg Planning Commission  
Draft Meeting Minutes for March 11, 2025, Meeting at 6:00 P.M.  
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200 E. Willow Street, Harrisburg, SD**

*Respectfully Submitted,  
Jen Cleveland*

DRAFT



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032  
PHONE: 605-743-5872

## Agenda Item Staff Report

Date: April 8, 2025

To: Planning Commission

From: Planning & Building Services

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**Agenda Item:**

**Application for an amendment to an approved Conditional Use Permit for an off-premises freestanding sign to be at 27240 SD Highway 115 (Parcel ID: 270.78.00.K201).**

Public Hearing:

Consent Agenda:

Business Item:

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**Information:**

- The Planning Commission approved a conditional use permit for this location on October 8, 2024.
- The permit was for an 11' by 22' (242 square feet) off-premises digital billboard.
- The applicant is requesting to increase the size of the billboard to 10' x 36' (360 square feet)
- There is an off-premises sign approximately 625' northeast of this proposed location, on the east side of SD Highway 115.

**Attachments:**

Application

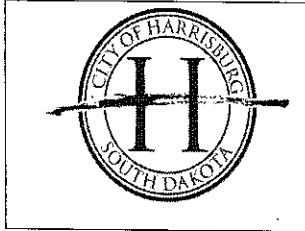
Site Plan

Sign Rendering

**Staff Recommendation:**

Staff recommends approval with the following conditions:

1. The sign shall not be located within 600' of any other off-premises freestanding sign.
2. The sign height shall not exceed 40'.
3. The sign shall be located at least 10' from all property lines.
4. Light from the sign shall be shielded, shaded, or directed so that the light intensity shall not adversely affect surrounding or facing premises or safe vision of operators of vehicles on public or private roads.
5. All digital or electrical message boards shall be equipped with automatic dimming controls that automatically adjust the sign brightness in direct correlation with the ambient light conditions.
6. Electrical message boards shall be static. The frequency of message change shall be not less than six second intervals.
7. Animation, blinking, or flashing lights are prohibited.



### City of Harrisburg Planning Services

301 E. Willow St. Harrisburg, SD 57032  
Phone: 605-743-5872

# CONDITIONAL USE PERMIT APPLICATION

Application Date: \_\_\_\_\_

Applicant Name: New Wave Holdings, LLC

Mailing Address: 300 N Main

City/State/Zip: Sioux Falls, SD 57104

Phone: 605-977-0106 Email: eric@cyclopsmedia.co

Property Owner Name: (if different) Joe Bernhard

Mailing Address: 27240 SD Hwy 115

City/State/Zip: Harrisburg, SD 57032

Property Address or Legal description of the property: 27249 SD HWY 115 Country Corner  
Orchards, ADD Lot 1 Tract 2


Current zoning of the property: A-1 AG

Type of use requested: Update previously approved CUP for 11x22 double sided digital board to a  
10x36 double sided digital board

This Application form must be accompanied by:

- A non-refundable application fee of \$300.00
- Detailed site plan
- Any other pertinent or requested information regarding the request

*I/we hereby certify that the information I have provided is accurate and correct.*



Applicant's signature

3/10/2025

Date



Property Owner's signature

3/10/2025 | 12:23 PM PDT

Date

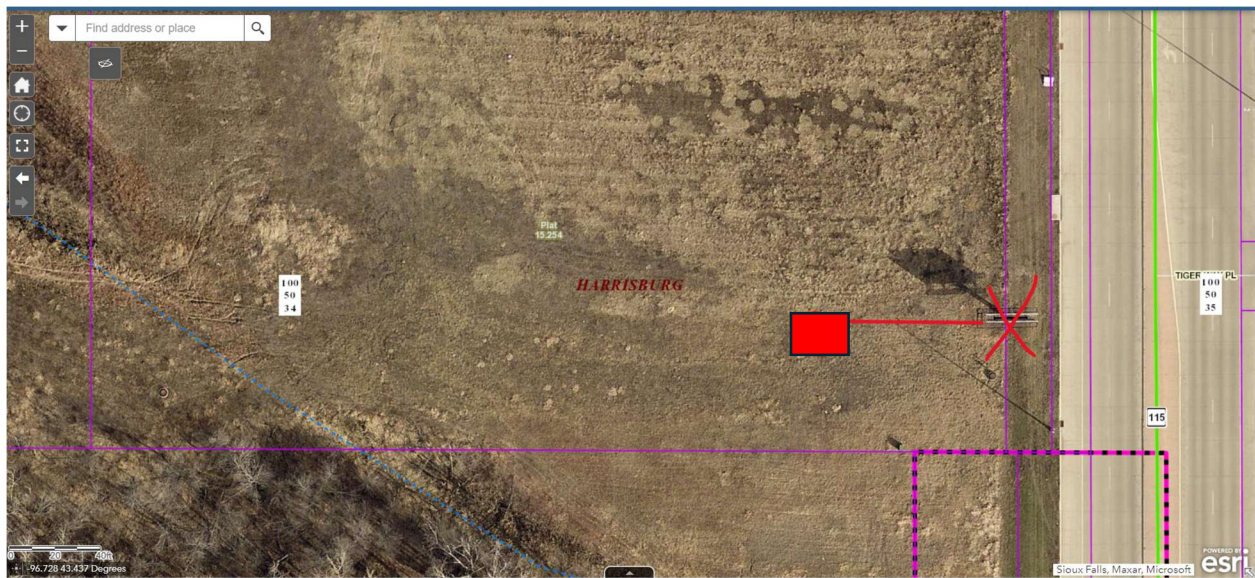
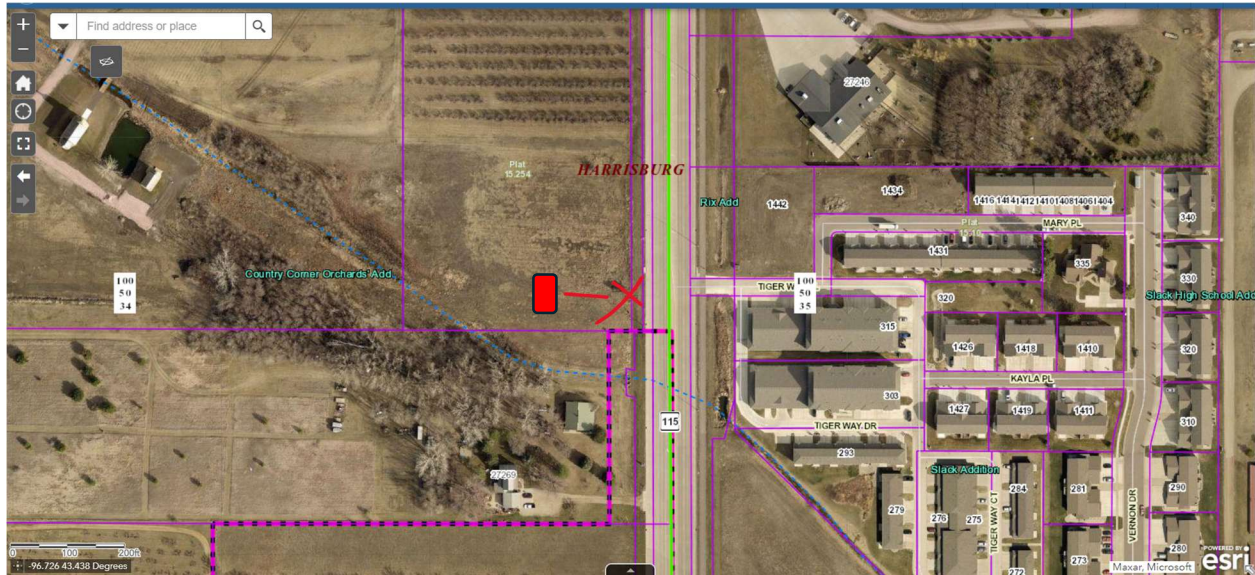
Please submit completed application, detailed plans, and non-refundable fee payment to City Hall or via email to [buildingservices@harrisburgsd.gov](mailto:buildingservices@harrisburgsd.gov)

#### FOR CITY USE ONLY

Date received: \_\_\_\_\_ Permit # \_\_\_\_\_ Hearing Date: \_\_\_\_\_

Date sign posted: \_\_\_\_\_ Date of publication: \_\_\_\_\_





27249 SD HWY115 – Country Corner Orchards Add, Lot 1, Tract 2

The current double side static billboard will be removed

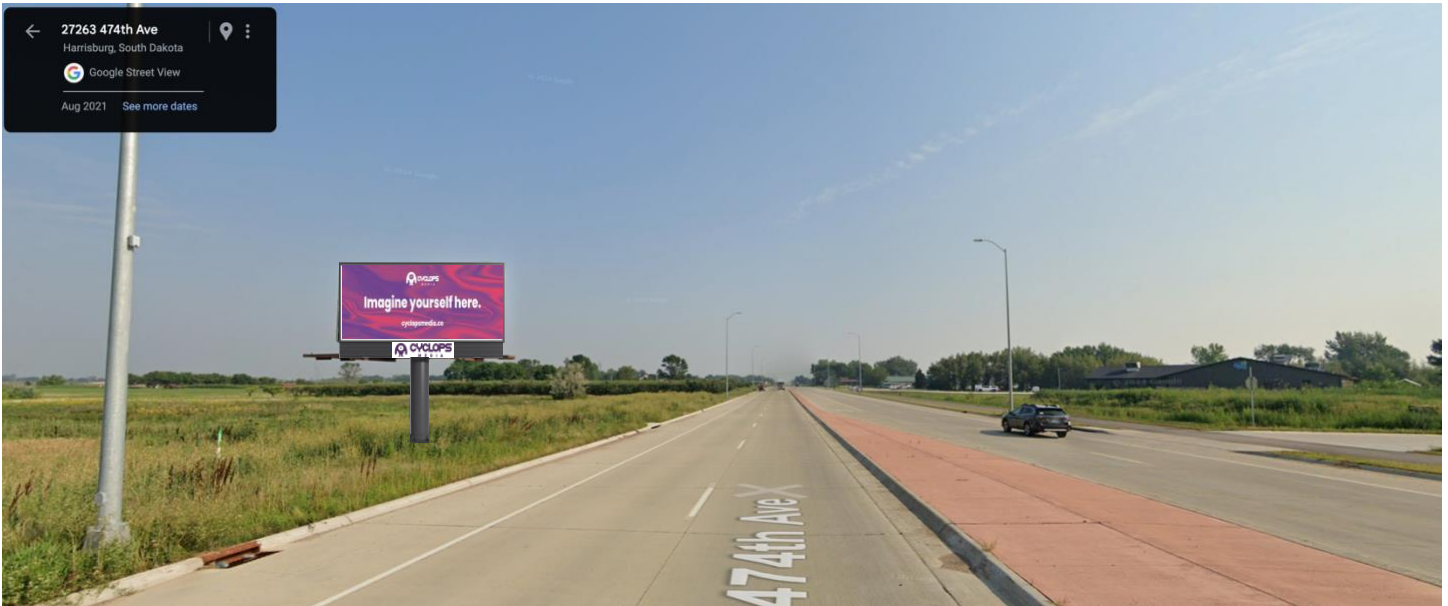


300 N Main Avenue | Sioux Falls SD 57104





300 N Main Avenue | Sioux Falls SD 57104





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PHONE: 605-743-5872

## Agenda Item Staff Report

Date: April 8, 2025

To: Planning Commission

From: Planning and Building Services

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**Agenda Item:**

**A Conditional Use Permit application for a contractor shop at 935 Flatiron Avenue (Parcel: 271.28.03.005)**

Public Hearing:

Business Item:

Informational:

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**Information:**

- The applicant is Jason Seykora with RGDC LLC.
- The applicant proposes constructing a building on the west side of Flatiron Crossing and the approximate size is 8,108 square feet.
- The property is zoned Light Industrial, and a contractor shop is a conditional use in Light Industrial zoning.

**Attachments:**

Application  
Site Plan

**Staff Recommendation:**

Staff recommends approval with the following conditions:

1. All outdoor storage shall be screened from view with opaque security fencing a minimum of six feet in height. No outdoor storage shall be allowed in the required front yard.
2. All junk, debris, and other discarded materials shall be promptly removed from the site.
3. Architectural design of structure(s) to be approved by the Planning and Zoning Administrator in conjunction with the building permit.
4. On-site lighting shall not shine or glare onto the adjacent properties or public right-of-way.
5. All parking, loading, maneuvering, and drive areas shall be hard surfaced with asphalt or concrete.
6. Contractor shops shall not be used for dwelling units or purposes.

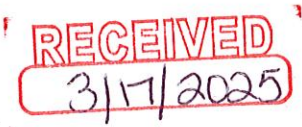


**City of Harrisburg  
Planning Services**

301 E. Willow St. Harrisburg, SD 57032  
Phone: 605-743-5872

**CONDITIONAL  
USE PERMIT  
APPLICATION**

Application Date: 3/17/25  
Applicant Name: RCDC LLC  
Mailing Address: 300 Almond Ave  
City/State/Zip: HARRISBURG, SD 57032  
Phone: 605-351-1898 Email: JASEYKORAC@CMARC.COM  
Property Owner Name: (if different) \_\_\_\_\_  
Property Owner's Mailing Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_



Property Address or Legal description of the property: LOT 5 BLK 3  
Flatiron Crosswalk Addition (935 Flatiron Ave)  
Current zoning of the property: Light Industrial  
Type of use requested: Contractor shop w/office

- This Application form must be accompanied by:
- A non-refundable application fee of \$300.00
  - Detailed site plan
  - Any other pertinent or requested information regarding the request

*I/we hereby certify that the information I have provided is accurate and correct.*

\_\_\_\_\_  
Applicant's signature  
\_\_\_\_\_  
Property Owner's signature

3/17/25  
Date  
3/17/25  
Date

Please submit completed application, detailed plans, and non-refundable fee payment to City Hall or via email to: [buildingservices@harrisburgsd.gov](mailto:buildingservices@harrisburgsd.gov)

**FOR CITY USE ONLY**

Date received: 3-17-25 Permit # 2025-0061 Hearing Date: 4-8-2025  
Date sign posted: \_\_\_\_\_ Date of publication: \_\_\_\_\_

**SITE PLAN NOTES**

OWNER:  
SEYKORA REMODELING, LLC  
CONTACT: JASON SEYKORA  
PHONE: (605) 351-1898  
EMAIL: jaseykora@gmail.com

STREET ADDRESS:  
935 FLATIRON AVENUE, HARRISBURG, SD 57032

LEGAL DESCRIPTION:  
EXISTING: LOT 5 BLOCK 3 FLATIRON CROSSING ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA. (CONTAINING 1.0 ± ACRES)

PROPOSED BUILDING SETBACKS: \*  
FRONT 25'  
SIDE 10'  
REAR 20'  
HEIGHT 45'

ZONING DISTRICTS  
(LI) LIGHT INDUSTRIAL DISTRICT  
USE - CONTRACTOR'S SHOPS/STORAGE YARDS

DATE OF SURVEY:  
NA

PARKING REQUIREMENTS:  
BUILDING SQUARE FOOTAGE: 8,108 SF ±

REQUIRED PARKING: ONE SPACES FOR EVERY 1,500 SF BUILDING FLOOR AREA  
8,108 / 1,500 = 6 SPACES

PROVIDED PARKING:  
STANDARD SPACES: 5 SPACES (TYPICAL 9'X19')  
ADA SPACES: 1 SPACES (9'X19')  
TOTAL PROVIDED: 6 SPACES

**LANDSCAPING REQUIREMENT:**

A LANDSCAPING STRIP WITH A MINIMUM WIDTH OF FIVE FEET SHALL BE LOCATED BETWEEN THE PARKING LOT AND THE ADJOINING LOT LINES.

PROPOSED SITE MEETS THIS REQUIREMENT.

**TREE & PLANTING REQUIREMENTS:**

ONE TREE PER FIFTY FEET OF LOT WIDTH IS REQUIRED. NO MORE THAN TWENTY PERCENT OF THE TREES MAY BE PLANTED IN THE STREET RIGHT-OF-WAY. NO MORE THAN TWENTY PERCENT OF THE REQUIRED TREES MAY BE DECIDUOUS ORNAMENTAL, EVERGREEN, OR CONIFEROUS TREES. EACH EXISTING TREE OF AT LEAST 1 3/4-INCH CALIPER IN SIZE SHALL COUNT TOWARD THE TREE REQUIREMENT.

REQUIRED NUMBER OF TREES: 3 TREES FOR 150' ± OF STREET FRONTAGE  
5 TREES FOR PERIMETER LANDSCAPING STRIP  
8 TOTAL TREES REQUIRED

PROVIDED NUMBER OF TREES: 8 TREES (SEE TREE SCHEDULE BELOW)

TREE SCHEDULE					
LOCATION	KEY	QTY	COMMON NAME	SIZE	ROOT
SEE PLAN	AB	4	AUTUMN BLAZE MAPLE	2" CAL	B&B
SEE PLAN	LL	4	LITTLE LEAF LINDEN	2" CAL	B&B

CONTRACTOR/LANDSCAPER TO VERIFY TREE SPECIES WITH OWNER PRIOR TO INSTALLATION

**STORM WATER DETENTION:**

THE SITE DRAINS TO SITE SPECIFIC DETENTION POND IN THE SOUTHWEST CORNER OF THE SUBDIVISION.

**FEMA FLOODPLAIN & WETLANDS:**

THE PROPERTY IS CURRENTLY OUTSIDE THE FLOOD HAZARD AREAS.  
REFERENCE: FEMA FLOOD MAP 46099C0469D. EFF 9/2/2009.

NO WETLANDS ARE WITHIN THE PROJECT LIMITS.

**AMERICANS WITH DISABILITIES ACT (ADA):**

ANY PEDESTRIAN PATHWAYS OR SIDEWALKS INSTALLED ON OR ADJACENT TO THIS SITE DEVELOPMENT SHALL BE FULLY ADA COMPLIANT. ALL SIDEWALK SHALL COMPLY WITH ADA STANDARDS. MAXIMUM CROSS SLOPE OF 2% (1:50) AND MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20). ALL SW RAMP SHALL BE LESS THAN 8.33% (1:12).

ANY SECTIONS OF SIDEWALK FOUND TO BE OUT OF COMPLIANCE WILL BE REMOVED AND REPLACED. THERE ARE NO CONSTRUCTION TOLERANCES ON MAXIMUM OR MINIMUM GRADES. FOR EXAMPLE, THE CONTRACTOR MAY WANT TO SET SIDEWALK FORMS AT A 1.5% CROSS SLOPE TO FALL UNDER THE 2% MAXIMUM SIDEWALK CROSS SLOPE.

**MISC. SITE NOTES**

- SITE DIMENSIONS: ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB, UNLESS NOTED. ALL DIMENSIONS ARE TO EDGE OF BUILDING FOUNDATION WALL UNLESS NOTED.
- SURFACING: SEE TYPICAL SECTIONS ON PROPOSED GRADING & SPOT ELEVATION SHEETS, C1.7.
- PAVEMENT MARKINGS: ALL PAVEMENT PARKING STRIPES ARE TO BE 4" PAINTED (YELLOW). ADA ACCESSIBLE PARKING STRIPES AND SYMBOLS SHALL BE PAINTED ACCORDING TO THE STANDARD DETAIL ON SHEET C1.16.

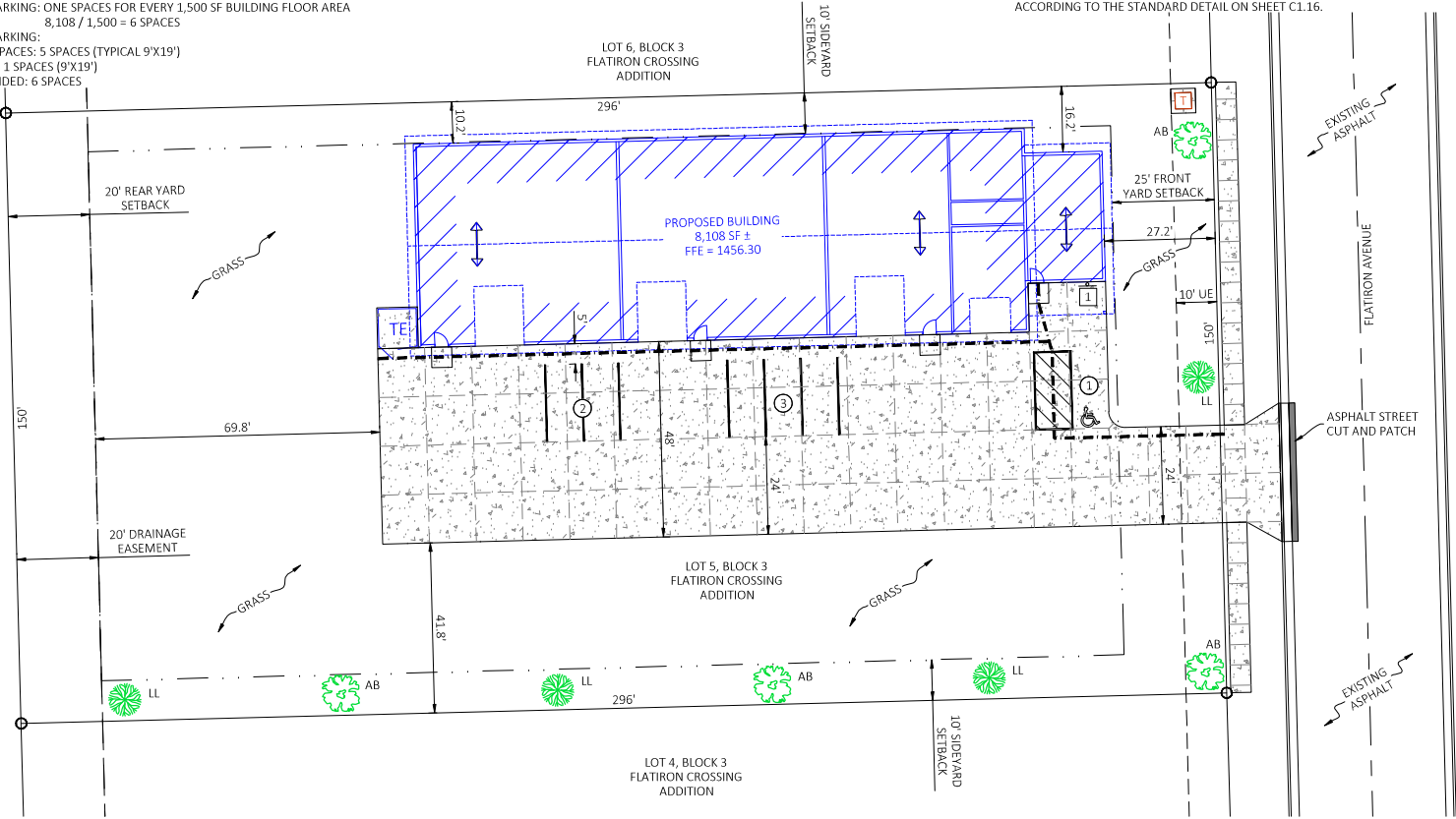


**LEGEND**

- = ASPHALT PAVEMENT
- = PCC PAVEMENT
- = ADA ACCESSIBLE ROUTE
- = SIDEWALK RAMP (MAX 2% CROSS SLOPE / 8.33% RUNNING SLOPE)
- = LANDING (MAX 2% SLOPE ANY DIRECTION / 8.33% MIN. 5' X 5')
- = ADA SIGNAGE
- = # OF PARKING SPACES
- = FINISHED FLOOR ELEVATION
- = TRASH ENCLOSURE
- = UTILITY EASEMENT
- = PROPERTY CORNER
- = 2" MIN. TREE (SEE SCHEDULE)

**KEYNOTES**

- ADA ACCESSIBLE PARKING SIGN - (SEE DETAIL ON C1.14)
- ADA ACCESSIBLE SYMBOL - (SEE DETAIL ON C1.14)



**PRELIMINARY**  
NOT FOR CONSTRUCTION

**JSA ENGINEERS AND SURVEYORS**  
JSA ENGINEERS AND SURVEYORS, INC.  
1001 SOUTH GARDEN AVENUE, SUITE 100  
HARRISBURG, SD 57032  
PH: 605-351-1898  
FAX: 605-351-1899  
WWW.JSAENGINEERS.COM

LOT 5, BLOCK 3  
FLATIRON CROSSING ADDITION  
HARRISBURG, SD

CIVIL SITE LAYOUT

COPYRIGHT 2025 ©  
This plan is copyrighted and shall be used only for the site shown and is not to be copied or reproduced without written permission from JSA Consulting Engineers/Land Surveyors Inc.

Project No. 70173.20	Revisions
Date: 3-10-25	
Drawn By: TVV	

C1.6



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032  
PHONE: 605-743-5872

## Agenda Item Staff Report

Date: April 8, 2025

To: Planning Commission

From: Planning and Building Services

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**Agenda Item:**

**A Conditional Use Permit application for a contractor shop at 919 Flatiron Avenue  
(Parcel: 271.28.03.003)**

Public Hearing:

Business Item:

Informational:

---

**Information:**

- The applicant is Mike Schlapkohl with Grand Vision Homes.
- The applicant proposes constructing a building on the west side of Flatiron Crossing and the approximate size is 14,880 square feet.
- The property is zoned Light Industrial, and a contractor shop is a conditional use in Light Industrial zoning.

**Attachments:**

Application  
Site Plan

**Staff Recommendation:**

Staff recommends approval with the following conditions:

1. All outdoor storage shall be screened from view with opaque security fencing a minimum of six feet in height. No outdoor storage shall be allowed in the required front yard.
2. All junk, debris, and other discarded materials shall be promptly removed from the site.
3. Architectural design of structure(s) to be approved by the Planning and Zoning Administrator in conjunction with the building permit.
4. On-site lighting shall not shine or glare onto the adjacent properties or public right-of-way.
5. All parking, loading, maneuvering, and drive areas shall be hard surfaced with asphalt or concrete.
6. Contractor shops shall not be used for dwelling units or purposes.



City of Harrisburg  
Planning Services

301 E. Willow St. Harrisburg, SD 57032  
Phone: 605-743-5872

CONDITIONAL  
USE PERMIT  
APPLICATION

Application Date: 3-10-25  
Applicant Name: Grand Vision Homes / Mike Schlappholz  
Mailing Address: 2708S Katie Rd Ste #2  
City/State/Zip: Tea SD 57064  
Phone: 605-929-1539 Email: mike@grandvisionhomesf.com  
Property Owner Name: (if different) same  
Property Owner's Mailing Address: same  
City/State/Zip: same

Property Address or Legal description of the property: 919 Flatiron Ave. Harrisburg  
lot 3 Block 3 Flatiron Crossing Addition

Current zoning of the property: Light Industrial (LI)

Type of use requested: Confectioner Shops. 6 Units Unit 1 will  
be occupied by Grand Vision Homes, Unit 2-6 will be rented or sold

This Application form must be accompanied by:

- A non-refundable application fee of \$300.00
- Detailed site plan
- Any other pertinent or requested information regarding the request

I/we hereby certify that the information I have provided is accurate and correct.

[Signature]  
Applicant's signature

3-10-25  
Date

[Signature]  
Property Owner's signature

3-10-25  
Date

Please submit completed application, detailed plans, and non-refundable fee payment to City Hall or via email to: [buildingservices@harrisburgsd.gov](mailto:buildingservices@harrisburgsd.gov)

FOR CITY USE ONLY

Date received: \_\_\_\_\_ Permit # \_\_\_\_\_ Hearing Date: \_\_\_\_\_

Date sign posted: \_\_\_\_\_ Date of publication: \_\_\_\_\_



**SITE PLAN NOTES**

OWNER:  
GRAND VISION HOMES  
MIKE SCHLAPKOHL  
(605) 929-1539  
mike@grandvisionhomessf.com

STREET ADDRESS:  
919 FLATIRON AVENUE, HARRISBURG, SD 57032

LEGAL DESCRIPTION:  
EXISTING: LOT 3 BLOCK 3 FLATIRON CROSSING ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA. (CONTAINING 1.0 ± ACRES)

PROPOSED BUILDING SETBACKS: \*  
FRONT 25'  
SIDE 10'  
REAR 20'  
HEIGHT 45'

ZONING DISTRICTS  
(L1) LIGHT INDUSTRIAL DISTRICT  
USE - CONTRACTOR'S SHOPS/STORAGE YARDS

DATE OF SURVEY:  
7-25-2025

PARKING REQUIREMENTS:  
BUILDING SQUARE FOOTAGE: 14,880 SF ±

REQUIRED PARKING: ONE SPACES FOR EVERY 1,500 SF BUILDING FLOOR AREA  
14,880 / 1,500 = 10 SPACES

PROVIDED PARKING:  
STANDARD SPACES: 11 SPACES (TYPICAL 9'X19')  
ADA SPACES: 1 SPACES (9'X19')  
TOTAL PROVIDED: 12 SPACES

**LANDSCAPING REQUIREMENT:**

A LANDSCAPING STRIP WITH A MINIMUM WIDTH OF FIVE FEET SHALL BE LOCATED BETWEEN THE PARKING LOT AND THE ADJOINING LOT LINES.

PROPOSED SITE MEETS THIS REQUIREMENT.

**TREE & PLANTING REQUIREMENTS:**

ONE TREE PER FIFTY FEET OF LOT WIDTH IS REQUIRED. NO MORE THAN TWENTY PERCENT OF THE TREES MAY BE PLANTED IN THE STREET RIGHT-OF-WAY. NO MORE THAN TWENTY PERCENT OF THE REQUIRED TREES MAY BE DECIDUOUS ORNAMENTAL, EVERGREEN, OR CONIFEROUS TREES. EACH EXISTING TREE OF AT LEAST 1 3/4-INCH CALIPER IN SIZE SHALL COUNT TOWARD THE TREE REQUIREMENT.

ONE SHADE TREE FOR EVERY FIFTY FEET OF LOT PERIMETER IN THE LANDSCAPE STRIP. ONE TREE FOR EVERY FIFTY FEET ALONG THE SOUTH PROPERTY LINE (NOT INCLUDING THE DRAINAGE EASEMENT) PER LANDSCAPE ORDINANCE.

REQUIRED NUMBER OF TREES: 3 TREES FOR 150' ± OF STREET FRONTAGE  
5 TREES FOR 275' ± ALONG SOUTH PROPERTY LINE  
8 TREES TOTAL REQUIRED

PROVIDED NUMBER OF TREES: 8 TREES (SEE TREE SCHEDULE BELOW)

TREE SCHEDULE					
LOCATION	KEY	QTY	COMMON NAME	SIZE	ROOT
SEE PLAN	AB	2	AUTUMN BLAZE MAPLE	2" CAL	B&B
SEE PLAN	LL	6	LITTLE LEAF LINDEN	2" CAL	B&B

CONTRACTOR/LANDSCAPER TO VERIFY TREE SPECIES WITH OWNER PRIOR TO INSTALLATION

**STORM WATER DETENTION:**

THE SITE DRAINS TO SITE SPECIFIC DETENTION POND IN THE SOUTHWEST CORNER OF THE SUBDIVISION.

**FEMA FLOODPLAIN & WETLANDS:**

THE PROPERTY IS CURRENTLY OUTSIDE THE FLOOD HAZARD AREAS. REFERENCE: FEMA FLOOD MAP 46099C0469D. EFF 9/2/2009.

NO WETLANDS ARE WITHIN THE PROJECT LIMITS.

**AMERICANS WITH DISABILITIES ACT (ADA):**

ANY PEDESTRIAN PATHWAYS OR SIDEWALKS INSTALLED ON OR ADJACENT TO THIS SITE DEVELOPMENT SHALL BE FULLY ADA COMPLIANT. ALL SIDEWALK SHALL COMPLY WITH ADA STANDARDS. MAXIMUM CROSS SLOPE OF 2% (1:50) AND MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20). ALL SW RAMP SHALL BE LESS THAN 8.33% (1:12).

ANY SECTIONS OF SIDEWALK FOUND TO BE OUT OF COMPLIANCE WILL BE REMOVED AND REPLACED. THERE ARE NO CONSTRUCTION TOLERANCES ON MAXIMUM OR MINIMUM GRADES. FOR EXAMPLE, THE CONTRACTOR MAY WANT TO SET SIDEWALK FORMS AT A 1.5% CROSS SLOPE TO FALL UNDER THE 2% MAXIMUM SIDEWALK CROSS SLOPE.

**MISC. SITE NOTES**

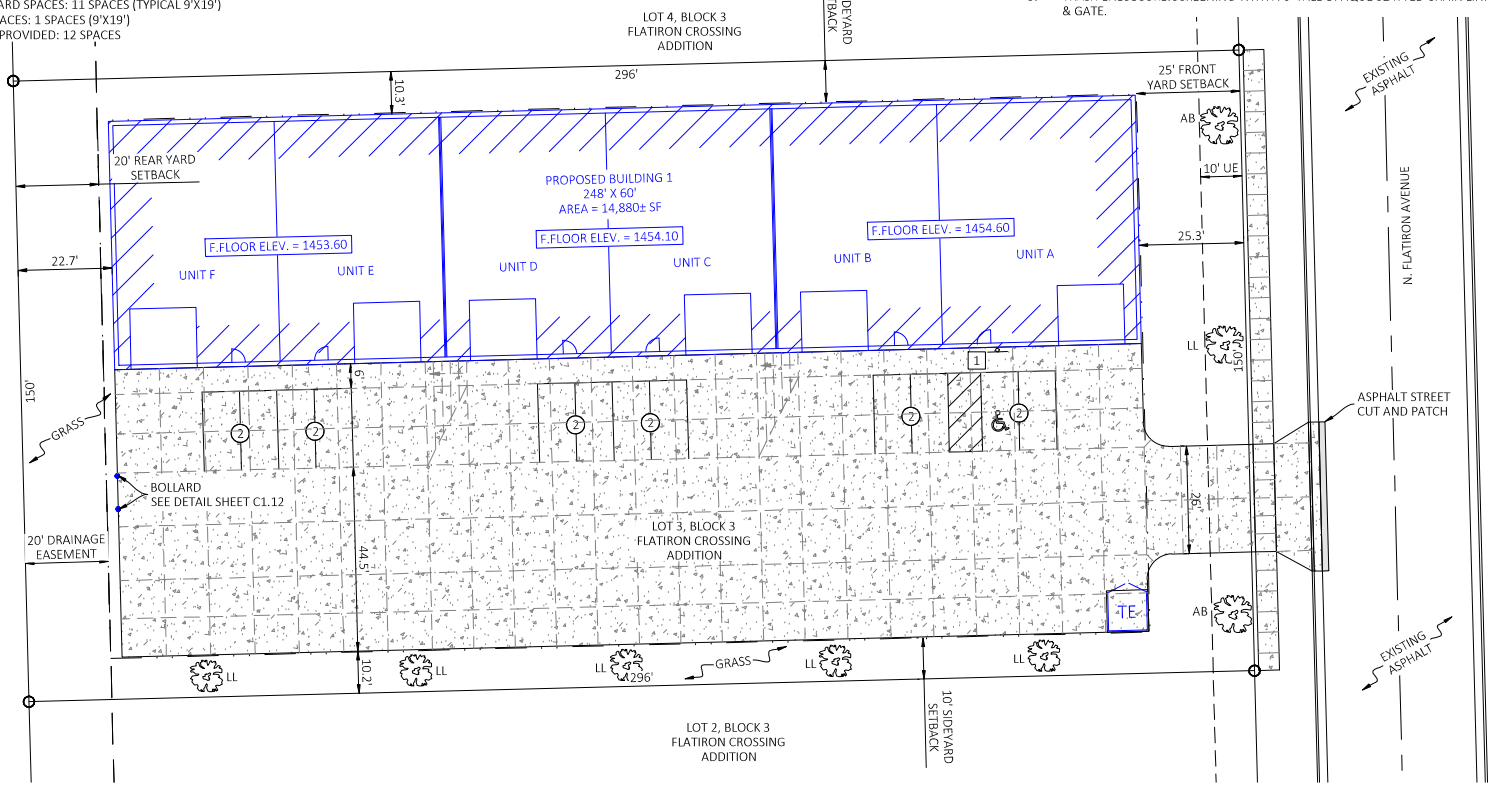
- SITE DIMENSIONS: ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB, UNLESS NOTED. ALL DIMENSIONS ARE TO EDGE OF BUILDING FOUNDATION WALL UNLESS NOTED.
- LANDSCAPE PLAN: ANY ADDITIONAL LANDSCAPING SHALL BE PROVIDED BY OTHERS.
- SURFACING: SEE TYPICAL SECTIONS ON PROPOSED GRADING & SPOT ELEVATION SHEETS, C1.8.
- PAVEMENT MARKINGS: ALL PAVED PARKING STRIPES ARE TO BE 4" PAINTED (YELLOW). ADA ACCESSIBLE PARKING STRIPES AND SYMBOLS SHALL BE PAINTED ACCORDING TO THE STANDARD DETAILS.
- TRASH ENCLOSURE: SCREENING WITH A 6' TALL OPAQUE SLATTED CHAIN LINK FENCE & GATE.

**LEGEND**

- [Hatched Box] = ASPHALT PAVEMENT
- [Dotted Box] = PCC PAVEMENT
- [Dashed Line] = ADA ACCESSIBLE ROUTE
- [Arrow] = SIDEWALK RAMP (MAX 2% CROSS SLOPE / 8.33% RUNNING SLOPE)
- [L] = LANDING (MAX 2% SLOPE ANY DIRECTION / 8.33% MIN. 5' X 5')
- [Triangle] = ADA SIGNAGE
- [Circle with 6] = # OF PARKING SPACES
- [Circle with FFE] = FINISHED FLOOR ELEVATION
- [Circle with TE] = TRASH ENCLOSURE
- [Circle with UE] = UTILITY EASEMENT
- [Circle with 0] = PROPERTY CORNER
- [Tree Symbol] = 2" MIN. TREE (SEE SCHEDULE)

**KEYNOTES**

- [1] ADA ACCESSIBLE PARKING SIGN - (SEE DETAIL ON C1.22)
- [2] ADA ACCESSIBLE SYMBOL - (SEE DETAIL ON C1.22)



**PRELIMINARY**  
NOT FOR CONSTRUCTION

**JSA ENGINEERS AND SURVEYORS**  
Professional Engineers and Surveyors  
1000 S. D. Ave., Suite 200, Harrisburg, SD 57033  
Phone: (605) 929-1539 Fax: (605) 929-1538  
www.jsa-engineers.com

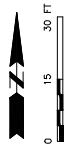
LOT 3, BLOCK 3  
FLATIRON CROSSING ADDITION  
HARRISBURG, SD

CIVIL SITE LAYOUT

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Project No. 70173.21	Revisions
Date: 03-10-25	
Drawn By: TVV	

**C1.7**





301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032  
PHONE: 605-743-5872

## Agenda Item Staff Report

Date: April 8, 2025

To: Planning Commission

From: Planning and Building Services

---

**Agenda Item:**

**A Conditional Use Permit application for a contractor shop at 927 Flatiron Avenue (Parcel: 271.28.03.004)**

Public Hearing:

Business Item:

Informational:

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**Information:**

- The applicant is Chris Voegeli with Voegeli Construction.
- The applicant proposes constructing a building on the west side of Flatiron Crossing and the approximate size is 9,720 square feet.
- The property is zoned Light Industrial, and a contractor shop is a conditional use in Light Industrial zoning.

**Attachments:**

Application  
Site Plan

**Staff Recommendation:**

Staff recommends approval with the following conditions:

1. All outdoor storage shall be screened from view with opaque security fencing a minimum of six feet in height. No outdoor storage shall be allowed in the required front yard.
2. All junk, debris, and other discarded materials shall be promptly removed from the site.
3. Architectural design of structure(s) to be approved by the Planning and Zoning Administrator in conjunction with the building permit.
4. On-site lighting shall not shine or glare onto the adjacent properties or public right-of-way.
5. All parking, loading, maneuvering, and drive areas shall be hard surfaced with asphalt or concrete.
6. Contractor shops shall not be used for dwelling units or purposes.



**City of Harrisburg  
Planning Services**

301 E. Willow St. Harrisburg, SD 57032  
Phone: 605-743-5872

**CONDITIONAL  
USE PERMIT  
APPLICATION**

Application Date: 3/18/2025  
Applicant Name: Chris Voegeli - Voegeli Construction  
Mailing Address: 47430 272nd St  
City/State/Zip: Harrisburg SD 57032  
Phone: 605-261-5107 Email: Voegeli23@gmail.com  
Property Owner Name: (if different) P  
Property Owner's Mailing Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_

Property Address or Legal description of the property: 927 Flatiron Ave  
Harrisburg SD

Current zoning of the property: light industrial

Type of use requested: Container Shop

This Application form must be accompanied by:

- A non-refundable application fee of \$300.00
- Detailed site plan
- Any other pertinent or requested information regarding the request

*I/we hereby certify that the information I have provided is accurate and correct.*

Chris Voegeli  
Applicant's signature

3/18/2025  
Date

\_\_\_\_\_  
Property Owner's signature

\_\_\_\_\_  
Date

Please submit completed application, detailed plans, and non-refundable fee payment to City Hall or via email to: [buildingservices@harrisburgsd.gov](mailto:buildingservices@harrisburgsd.gov)

**FOR CITY USE ONLY**

Date received: 3/18/25 Permit # 2025-0004 Hearing Date: 4-8-2025

Date sign posted: \_\_\_\_\_ Date of publication: \_\_\_\_\_

*pd 3/18/25*

**SITE PLAN NOTES**

OWNER:  
VOEGELI CONSTRUCTION, LLC  
CHRIS VOEGELI  
(605) 261-5107  
vogje23@gmail.com

STREET ADDRESS:  
927 FLATIRON AVENUE, HARRISBURG, SD 57032

LEGAL DESCRIPTION:  
EXISTING: LOT 4 BLOCK 3 FLATIRON CROSSING ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA. (CONTAINING 1.0 ± ACRES)

PROPOSED BUILDING SETBACKS: \*  
FRONT 25'  
SIDE 10'  
REAR 20'  
HEIGHT 45'

ZONING DISTRICTS  
(LI) LIGHT INDUSTRIAL DISTRICT  
USE - CONTRACTOR'S SHOPS/STORAGE YARDS

DATE OF SURVEY:  
7-25-2025

PARKING REQUIREMENTS:  
BUILDING SQUARE FOOTAGE: 9,720 SF ±

REQUIRED PARKING: ONE SPACES FOR EVERY 1,500 SF BUILDING FLOOR AREA  
9,720 / 1,500 = 6 SPACES

PROVIDED PARKING:  
STANDARD SPACES: 5 SPACES (TYPICAL 9'X19')  
ADA SPACES: 1 SPACES (9'X19')  
TOTAL PROVIDED: 6 SPACES

LANDSCAPING REQUIREMENT:  
A LANDSCAPING STRIP WITH A MINIMUM WIDTH OF FIVE FEET SHALL BE LOCATED BETWEEN THE PARKING LOT AND THE ADJOINING LOT LINES.

PROPOSED SITE MEETS THIS REQUIREMENT.

TREE & PLANTING REQUIREMENTS:  
ONE TREE PER FIFTY FEET OF LOT WIDTH IS REQUIRED. NO MORE THAN TWENTY PERCENT OF THE TREES MAY BE PLANTED IN THE STREET RIGHT-OF-WAY. NO MORE THAN TWENTY PERCENT OF THE REQUIRED TREES MAY BE DECIDUOUS ORNAMENTAL, EVERGREEN, OR CONIFEROUS TREES. EACH EXISTING TREE OF AT LEAST 1 3/4-INCH CALIPER IN SIZE SHALL COUNT TOWARD THE TREE REQUIREMENT.

ONE SHADE TREE FOR EVERY FIFTY FEET OF LOT PERIMETER IN THE LANDSCAPE STRIP.

REQUIRED NUMBER OF TREES: 3 TREES FOR 150' ± OF STREET FRONTAGE  
7 TREES FOR PERIMETER LANDSCAPING STRIP  
10 TREES TOTAL REQUIRED

PROVIDED NUMBER OF TREES: 10 TREES (SEE TREE SCHEDULE BELOW)

TREE SCHEDULE					
LOCATION	KEY	QTY	COMMON NAME	SIZE	ROOT
SEE PLAN	AB	6	AUTUMN BLAZE MAPLE	2" CAL	B&B
SEE PLAN	LL	4	LITTLE LEAF LINDEN	2" CAL	B&B

CONTRACTOR/LANDSCAPER TO VERIFY TREE SPECIES WITH OWNER PRIOR TO INSTALLATION

STORM WATER DETENTION:  
THE SITE DRAINS TO SITE SPECIFIC DETENTION POND IN THE SOUTHWEST CORNER OF THE SUBDIVISION.

FEMA FLOODPLAIN & WETLANDS:  
THE PROPERTY IS CURRENTLY OUTSIDE THE FLOOD HAZARD AREAS.  
REFERENCE: FEMA FLOOD MAP 46099C0469D. EFF 9/2/2009.

NO WETLANDS ARE WITHIN THE PROJECT LIMITS.

AMERICANS WITH DISABILITIES ACT (ADA):  
ANY PEDESTRIAN PATHWAYS OR SIDEWALKS INSTALLED ON OR ADJACENT TO THIS SITE DEVELOPMENT SHALL BE FULLY ADA COMPLIANT. ALL SIDEWALK SHALL COMPLY WITH ADA STANDARDS. MAXIMUM CROSS SLOPE OF 2% (1:50) AND MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20). ALL SW RAMP SHALL BE LESS THAN 8.33% (1:12).

ANY SECTIONS OF SIDEWALK FOUND TO BE OUT OF COMPLIANCE WILL BE REMOVED AND REPLACED. THERE ARE NO CONSTRUCTION TOLERANCES ON MAXIMUM OR MINIMUM GRADES. FOR EXAMPLE, THE CONTRACTOR MAY WANT TO SET SIDEWALK FORMS AT A 1.5% CROSS SLOPE TO FALL UNDER THE 2% MAXIMUM SIDEWALK CROSS SLOPE.

**MISC. SITE NOTES**

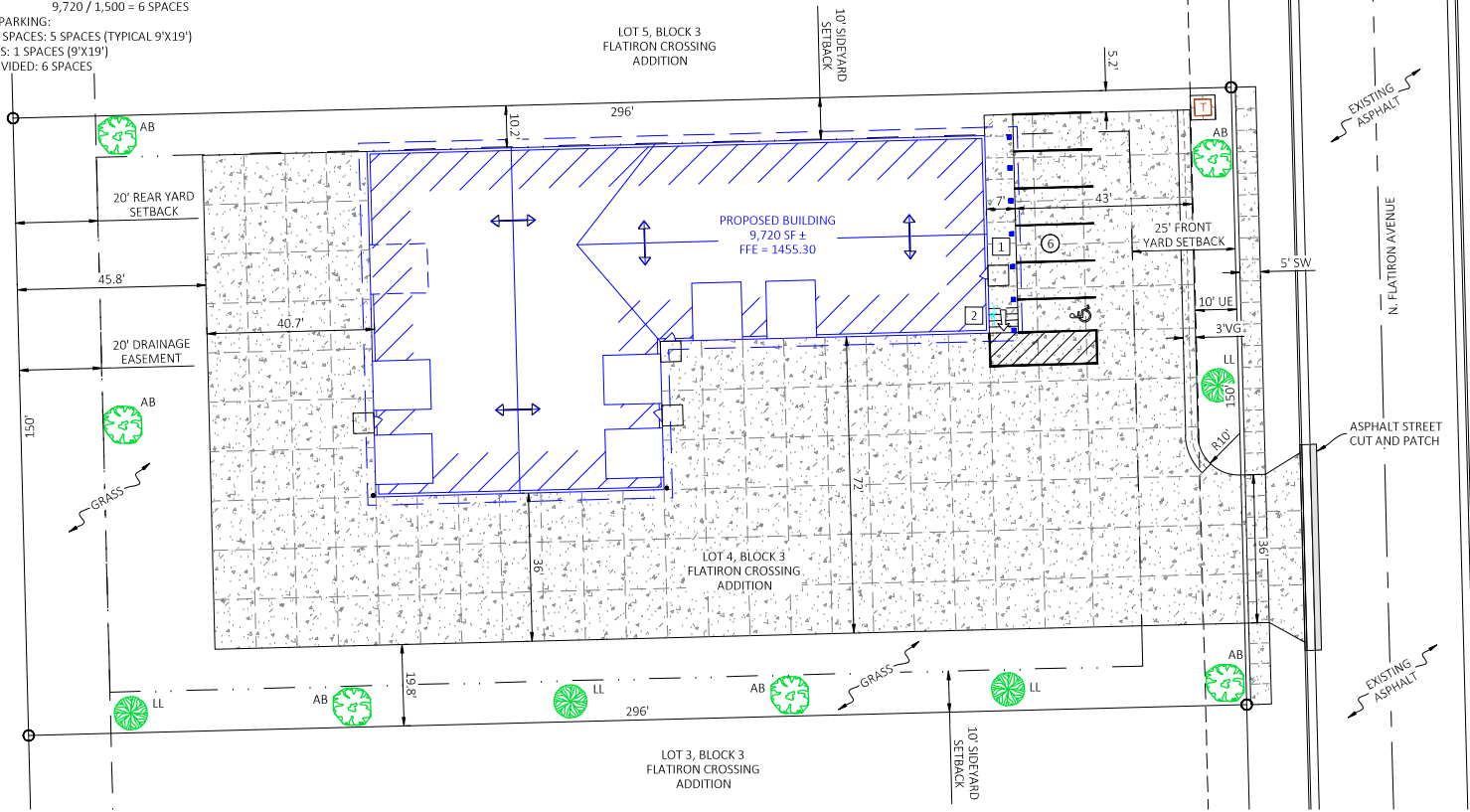
- SITE DIMENSIONS: ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB, UNLESS NOTED. ALL DIMENSIONS ARE TO EDGE OF BUILDING FOUNDATION WALL UNLESS NOTED.
- SURFACING: SEE TYPICAL SECTIONS ON PROPOSED GRADING & SPOT ELEVATION SHEETS, C1.7.
- PAVEMENT MARKINGS: ALL PAVEMENT PARKING STRIPES ARE TO BE 4" PAINTED (YELLOW). ADA ACCESSIBLE PARKING STRIPES AND SYMBOLS SHALL BE PAINTED ACCORDING TO THE STANDARD DETAILS.

**LEGEND**

- = ASPHALT PAVEMENT
- = PCC PAVEMENT
- = ADA ACCESSIBLE ROUTE
- = SIDEWALK RAMP (MAX 2% CROSS SLOPE / 8.33% RUNNING SLOPE)
- = LANDING (MAX 2% SLOPE ANY DIRECTION / MIN. 5' X 5')
- = ADA SIGNAGE
- = # OF PARKING SPACES
- = FINISHED FLOOR ELEVATION
- = UTILITY EASEMENT
- = PROPERTY CORNER
- = 2" MIN. TREE (SEE SCHEDULE)

**KEYNOTES**

- THICKENED EDGE SIDEWALK
- ADA ACCESSIBLE PARKING SIGN - (SEE DETAIL ON C1.15)  
ADA ACCESSIBLE SYMBOL - (SEE DETAIL ON C1.15)



**PRELIMINARY**  
NOT FOR CONSTRUCTION

**JSA ENGINEERS AND SURVEYORS**  
JSA ENGINEERS AND SURVEYORS, INC.  
1001 WEST 10TH STREET, SUITE 200  
SIOUX FALLS, SD 57105  
PH: 605-336-1111 FAX: 605-336-1112  
WWW.JSAENGINEERSANDSURVEYORS.COM

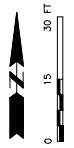
LOT 4, BLOCK 3  
FLATIRON CROSSING ADDITION  
HARRISBURG, SD

CIVIL SITE LAYOUT

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Project No. 70173.19	Revisions
Date: 3-10-25	
Drawn By: TVV	

**C1.6**





301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032  
PHONE: 605-743-5872

## Agenda Item Staff Report

Date: April 8, 2025

To: Planning Commission

From: Planning and Building Services

---

**Agenda Item:**

**A Conditional Use Permit application for a contractor shop at 943 Flatiron Avenue (Parcel: 271.28.03.006)**

Public Hearing:

Business Item:

Informational:

---

**Information:**

- The applicant is Brian Eich with Brian Eich Plumbing.
- The applicant proposes constructing a building on the west side of Flatiron Crossing and the approximate size is 11,300 square feet.
- The property is zoned Light Industrial, and a contractor shop is a conditional use in Light Industrial zoning.

**Attachments:**

Application  
Site Plan

**Staff Recommendation:**

Staff recommends approval with the following conditions:

1. All outdoor storage shall be screened from view with opaque security fencing a minimum of six feet in height. No outdoor storage shall be allowed in the required front yard.
2. All junk, debris, and other discarded materials shall be promptly removed from the site.
3. Architectural design of structure(s) to be approved by the Planning and Zoning Administrator in conjunction with the building permit.
4. On-site lighting shall not shine or glare onto the adjacent properties or public right-of-way.
5. All parking, loading, maneuvering, and drive areas shall be hard surfaced with asphalt or concrete.
6. Contractor shops shall not be used for dwelling units or purposes.



**City of Harrisburg  
Planning Services**

301 E. Willow St. Harrisburg, SD 57032  
Phone: 605-743-5872

**CONDITIONAL  
USE PERMIT  
APPLICATION**

Application Date: 3-18-25

Applicant Name: Brian Eidl

Mailing Address: 2301 W. Sledgh Creek Trl.

City/State/Zip: Sioux Falls S.D. 57108

Phone: 605-201-6748 Email: brianeidlplumbing@yahoo.com

Property Owner Name: (if different) Brian + Candace Eidl

Property Owner's Mailing Address: Same

City/State/Zip: Same

Property Address or Legal description of the property: 943 Flat Iron Ave

Current zoning of the property: Light Industrial

Type of use requested: Contractor Shop for plumbing

This Application form must be accompanied by:

- A non-refundable application fee of \$300.00
- Detailed site plan
- Any other pertinent or requested information regarding the request

*I/we hereby certify that the information I have provided is accurate and correct.*

Brian Eidl  
Applicant's signature

3-18-25  
Date

Property Owner's signature

Date

Please submit completed application, detailed plans, and non-refundable fee payment to City Hall or via email to: [buildingservices@harrisburgsd.gov](mailto:buildingservices@harrisburgsd.gov)

**FOR CITY USE ONLY**

Date received: 3/18/25

Permit # 2025-0065 Hearing Date: \_\_\_\_\_

Date sign posted: \_\_\_\_\_

Date of publication: \_\_\_\_\_

pd 3/18/25

**SITE PLAN NOTES**

OWNER:  
 BRIAN EICH PLUMBING  
 BRIAN EICH  
 (605) 201-6748  
 brianeichplumbing@yahoo.com

STREET ADDRESS:  
 943 FLATIRON AVENUE, HARRISBURG, SD 57032

LEGAL DESCRIPTION:  
 EXISTING: LOT 6 BLOCK 3 FLATIRON CROSSING ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA. (CONTAINING 1.0 ± ACRES)

PROPOSED BUILDING SETBACKS:\*

FRONT	25'
SIDE	10'
REAR	20'
HEIGHT	45'

ZONING DISTRICTS  
 (LI) LIGHT INDUSTRIAL DISTRICT  
 USE - CONTRACTOR'S SHOPS/STORAGE YARDS

DATE OF SURVEY:  
 2-25-2025

PARKING REQUIREMENTS:  
 BUILDING SQUARE FOOTAGE: 11,300 SF ±

REQUIRED PARKING: ONE SPACES FOR EVERY 1,500 SF BUILDING FLOOR AREA  
 11,300 / 1,500 = 8 SPACES

PROVIDED PARKING:  
 STANDARD SPACES: 9 SPACES (TYPICAL 9'X19')  
 ADA SPACES: 1 SPACES (9'X19')  
 TOTAL PROVIDED: 10 SPACES

LANDSCAPING REQUIREMENT:  
 A LANDSCAPING STRIP WITH A MINIMUM WIDTH OF FIVE FEET SHALL BE LOCATED BETWEEN THE PARKING LOT AND THE ADJOINING LOT LINES.

PROPOSED SITE MEETS THIS REQUIREMENT.

TREE & PLANTING REQUIREMENTS:  
 ONE TREE PER FIFTY FEET OF LOT WIDTH IS REQUIRED. NO MORE THAN TWENTY PERCENT OF THE TREES MAY BE PLANTED IN THE STREET RIGHT-OF-WAY. NO MORE THAN TWENTY PERCENT OF THE REQUIRED TREES MAY BE DECIDUOUS ORNAMENTAL, EVERGREEN, OR CONIFEROUS TREES. EACH EXISTING TREE OF AT LEAST 1 3/4-INCH CALIPER IN SIZE SHALL COUNT TOWARD THE TREE REQUIREMENT.

ONE SHADE TREE FOR EVERY FIFTY FEET OF LOT PERIMETER IN THE LANDSCAPE STRIP.

REQUIRED NUMBER OF TREES: 3 TREES FOR 150' ± OF STREET FRONTAGE  
 6 TREES FOR PERIMETER LANDSCAPING STRIP  
 9 TREES TOTAL REQUIRED

PROVIDED NUMBER OF TREES: 10 TREES (SEE TREE SCHEDULE BELOW)

TREE SCHEDULE					
LOCATION	KEY	QTY	COMMON NAME	SIZE	ROOT
SEE PLAN	AB	4	AUTUMN BLAZE MAPLE	2" CAL	B&B
SEE PLAN	LL	5	LITTLE LEAF LINDEN	2" CAL	B&B

CONTRACTOR/LANDSCAPER TO VERIFY TREE SPECIES WITH OWNER PRIOR TO INSTALLATION

STORM WATER DETENTION:  
 THE SITE DRAINS TO SITE SPECIFIC DETENTION POND IN THE SOUTHWEST CORNER OF THE SUBDIVISION.

FEMA FLOODPLAIN & WETLANDS:  
 THE PROPERTY IS CURRENTLY OUTSIDE THE FLOOD HAZARD AREAS.  
 REFERENCE: FEMA FLOOD MAP 46099C0469D. EFF 9/2/2009.

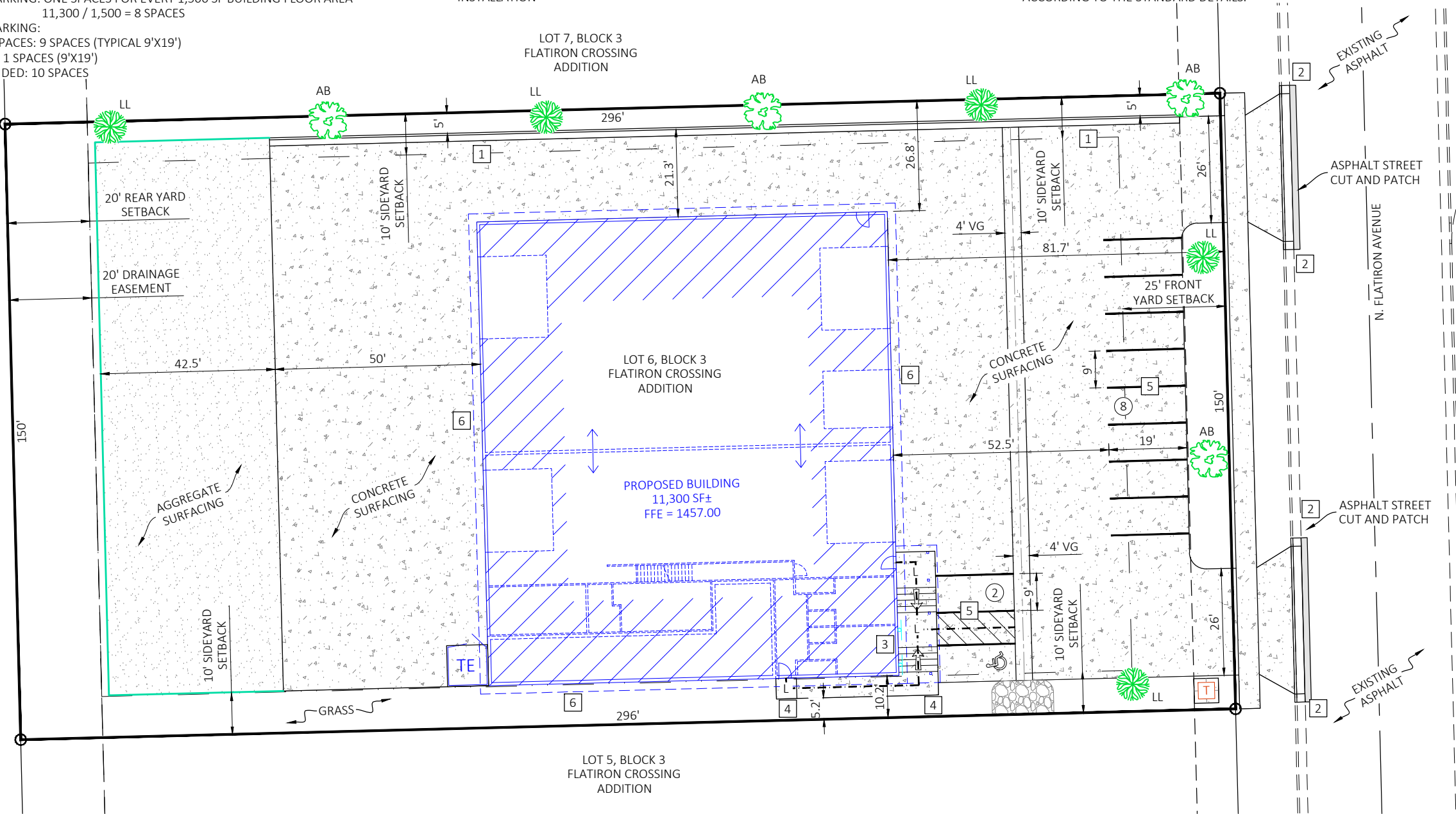
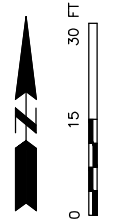
NO WETLANDS ARE WITHIN THE PROJECT LIMITS.

AMERICANS WITH DISABILITIES ACT (ADA):  
 ANY PEDESTRIAN PATHWAYS OR SIDEWALKS INSTALLED ON OR ADJACENT TO THIS SITE DEVELOPMENT SHALL BE FULLY ADA COMPLIANT. ALL SIDEWALK SHALL COMPLY WITH ADA STANDARDS. MAXIMUM CROSS SLOPE OF 2% (1:50) AND MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20). ALL SW RAMPS SHALL BE LESS THAN 8.33% (1:12).

ANY SECTIONS OF SIDEWALK FOUND TO BE OUT OF COMPLIANCE WILL BE REMOVED AND REPLACED. THERE ARE NO CONSTRUCTION TOLERANCES ON MAXIMUM OR MINIMUM GRADES. FOR EXAMPLE, THE CONTRACTOR MAY WANT TO SET SIDEWALK FORMS AT A 1.5% CROSS SLOPE TO FALL UNDER THE 2% MAXIMUM SIDEWALK CROSS SLOPE.

**MISC. SITE NOTES**

- SITE DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB, UNLESS NOTED. ALL DIMENSIONS ARE TO EDGE OF BUILDING FOUNDATION WALL UNLESS NOTED.
- SURFACING: SEE TYPICAL SECTIONS ON PROPOSED GRADING & SPOT ELEVATION SHEETS.
- PAVEMENT MARKINGS: ALL PAVEMENT PARKING STRIPES ARE TO BE 4" PAINTED (YELLOW). ADA ACCESSIBLE PARKING STRIPES AND SYMBOLS SHALL BE PAINTED ACCORDING TO THE STANDARD DETAILS.



**LEGEND**

- = PCC PAVEMENT
- = GRAVEL SURFACING
- = ADA ACCESSIBLE ROUTE
- = SIDEWALK RAMP (MAX 2% CROSS SLOPE / 8.33% RUNNING SLOPE)
- = LANDING (MAX 2% SLOPE ANY DIRECTION MIN. 5' X 5')
- = ADA SIGNAGE
- = # OF PARKING SPACES
- = FINISHED FLOOR ELEVATION
- = UTILITY EASEMENT
- = PROPERTY CORNER
- = 2" MIN. TREE (SEE SCHEDULE)

**KEYNOTES**

- 1 24" CONCRETE CURB AND GUTTER
- 2 30" CONCRETE CURB AND GUTTER
- 3 ADA ACCESSIBLE PARKING SIGN - (SEE DETAIL)  
ADA ACCESSIBLE SYMBOL - (SEE DETAIL)
- 4 THICKENED EDGE CONCRETE SIDEWALK
- 5 YELLOW PAVEMENT MARKING PAINT (4")
- 6 ROOF EAVE

PRELIMINARY  
NOT FOR CONSTRUCTION

**JSA ENGINEERS AND LAND SURVEYORS**  
1011 E. Capitol Avenue, Suite 101  
 Sioux Falls, South Dakota 57108-2515  
 Reg. No. 12444-0000-0000-0000

LOT 6, BLOCK 3  
 FLATIRON CROSSING ADDITION  
 HARRISBURG, SD

CIVIL SITE LAYOUT

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Project No. 70173.23	Revisions
Date: 3-25-25	C3.0
Drawn By: TVV	



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032  
PHONE: 605-743-5872

## Agenda Item Staff Report

Date: April 8, 2025

To: Planning Commission

From: Planning and Building Services

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**Agenda Item:****Proposed amendments to Section 3.5 (R-2: Low Density Residential District) of the City of Harrisburg Zoning Regulations**

Public Hearing:

Business Item:

Informational:

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**Information:**

- The proposed amendments include:
  - Reducing the minimum lot width of a single-family detached unit from 65 feet to 50 feet.
  - Reducing the minimum lot area of a single-family detached unit from 6,500 square feet to 5,000 square feet.
  - Reducing the side yard setback for a single-family detached unit from 7 feet to 5 feet.
- Based on the current housing market, many communities have revised their requirements to provide an option for smaller lots, which results in lower home costs.
- Several developers have requested this option for the R-2 zoning district.

**Attachments:**

Proposed Amendments

**Staff Recommendation:**

Recommend approval to the City Council.



**3.5 R-2: LOW DENSITY RESIDENTIAL DISTRICT.** The purpose of this District is to provide for areas of low residential density. This district provides single-family detached dwellings, single-family attached dwellings, low density multi-family dwellings, and such supportive community facilities as parks, playgrounds, schools, and churches. Nonresidential services permitted in this district shall provide auxiliary services.

**3.5.1 PERMITTED USES**

<u>Use</u>	<u>Use-Specific Standards</u>
Accessory Use and Structures	See Section 4.1.
Duplexes	
Fences	See Section 4.04.
In-home family day care facilities	See Section 5.07.
In-home group day care facilities	See Section 5.08.
Keeping of Chickens	Permit required. See Section 5.12.
Manufactured homes	See Section 5.13.
Minor home occupations	See Section 5.11.
Municipal service buildings	One freestanding sign allowed.
Public parks and playgrounds	
Quadplexes	
Recreation Facility, Private	See Section 5.27.
Schools	One freestanding sign is allowed. Side yards may be up to four times the normal side yard for this district. At least one property line shall abut upon an arterial or collector street.
Single-family attached dwelling units	This includes townhomes and condominiums.
Single-family detached dwelling units	
Telecommunications facilities on an existing support structure	See Section 5.22.

Triplexes

Water supply facilities

**3.5.2 CONDITIONAL USES.**

<u>Use</u>	<u>Use-Specific Standards</u>
Bed and breakfast establishments	See Section 5.04.
Churches	One property line shall abut upon an arterial or collector street. One freestanding sign allowed.
Group homes	Structure must be a single housekeeping unit. Design, operating, and licensing requirements of appropriate state and federal agencies must be met.
Major home occupations	See Section 5.11.
Medical and dental clinics	One freestanding sign allowed.
Planned Unit Developments	See Section 5.19.
Solar energy systems	See Section 5.21.
Telecommunications facilities	See Section 5.22.
Wind Energy Conversion Systems	See Section 5.26.

**3.5.3 LOT AND YARD REGULATIONS.** Yard measurements shall be taken from the lot line to the building line. Values shown for lot area, lot width, and yard depth are minimum values. Lot coverage shall not exceed 50%.

	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback	Maximum Building Height
Duplex, Triplex, Quadplex	3,000 sq ft/unit	60 ft	25 ft	7 ft	20 ft	35 ft
Single-family attached	2,000 sq ft/unit	25 ft	25 ft	0 ft or 7 ft on nonparty wall side	20 ft	35 ft
Single-family detached	<del>6,500</del> 5,000 sq ft/unit	<del>65</del> 50 ft	25 ft	<del>7</del> 5 ft	20 ft	35 ft
All Other Uses	6,500 sq ft	65 ft	25 ft	7 ft	20 ft	35 ft

Exceptions:

- #1 There shall be a required front yard on each street side of a double-frontage lot.
- #2 There shall be a required front yard on each street side of a corner lot.
- #3 One required front yard may be reduced to twenty feet on corner lots.



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032  
PHONE: 605-743-5872

## Agenda Item Staff Report

Date: April 8, 2025

To: Planning Commission

From: Planning and Building Services

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**Agenda Item:****Amendment to the Comprehensive Plan Future Land Use Map.**

Public Hearing:

Business Item:

Informational:

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**Information:**

- The City's future land use map became effective on July 31, 2024
- We have received a request to change this map.
- The location of the proposed change is on the east side of Highway 11 and on the south side of 272<sup>nd</sup> Street.
- The property is currently zoned A-1 Agricultural.
- The proposed change is to show this 60 acres as industrial.
- The 10 acres directly to the north/west is zoned commercial. Storage units are currently being constructed on the commercial property.

**Attachments:**

Comprehensive Plan Amendment of 2024.

Proposed concept plan.

**Staff Recommendation:**

Notices of Hearing: June 20, 2024  
Date of Hearing: July 2, 2024  
Date Adopted: July 2, 2024  
Date Published: July 11, 2024  
Date Effective: July 31, 2024

**Resolution 2024 - 09**

A RESOLUTION TO AMEND THE CITY'S COMPREHENSIVE PLAN BY ADOPTING A REVISED MAJOR STREET PLAN, A STAKEHOLDER INPUT MAP, AND A REVISED LANDUSE MAP.

**WHEREAS** Chapter 11-6-14 of South Dakota Codified Law empowers the Planning Commission and City of Council of Harrisburg, SD, to amend the City's adopted Comprehensive Plan for the physical development of the municipality and the surrounding area; and

**WHEREAS** the Planning Commission has prepared an amendment to the adopted Comprehensive Plan dated May 15, 2019, has held the required Public Hearing, and has made a recommendation for adoption of the amended Plan to the City Council; and

**WHEREAS** the City Council has received the recommendation of the Planning Commission, has reviewed the proposed amended Plan, and has held the required Public Hearing; and

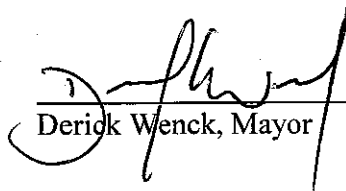
**WHEREAS** the adoption of the amended Comprehensive Plan will assist the City in managing responsible growth and the development of the municipality and the surrounding area.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF HARRISBURG, SD:

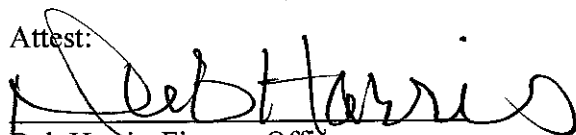
That the amended Comprehensive Plan for the City of Harrisburg, dated May 15, 2019, be hereby adopted, and shall become effective according to law.

Adopted at Harrisburg, South Dakota, this 2<sup>nd</sup> day of July, 2024.

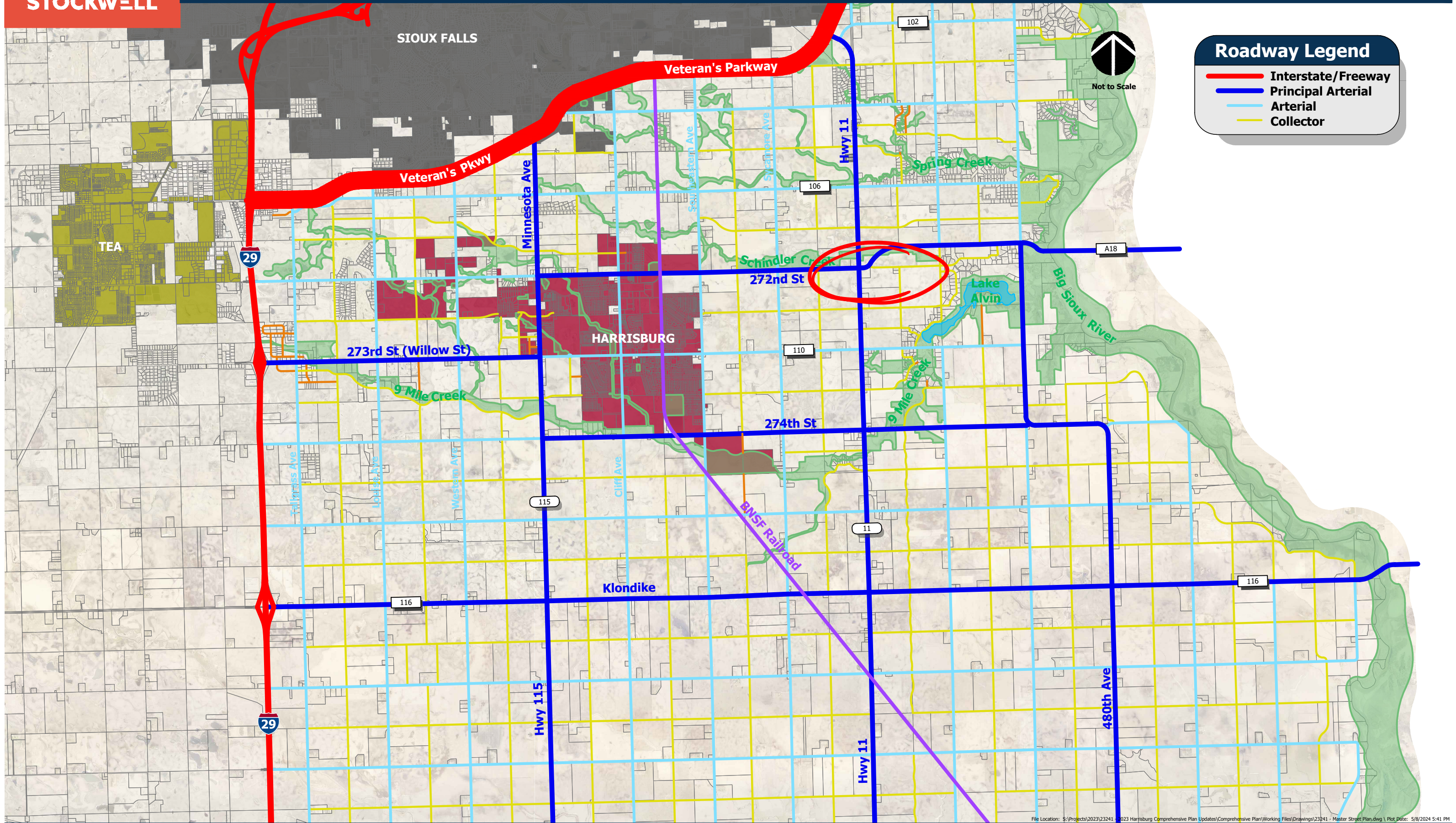
COMMON COUNCIL OF THE CITY OF HARRISBURG

  
Derick Wenck, Mayor

Attest:

  
Deb Harris, Finance Officer

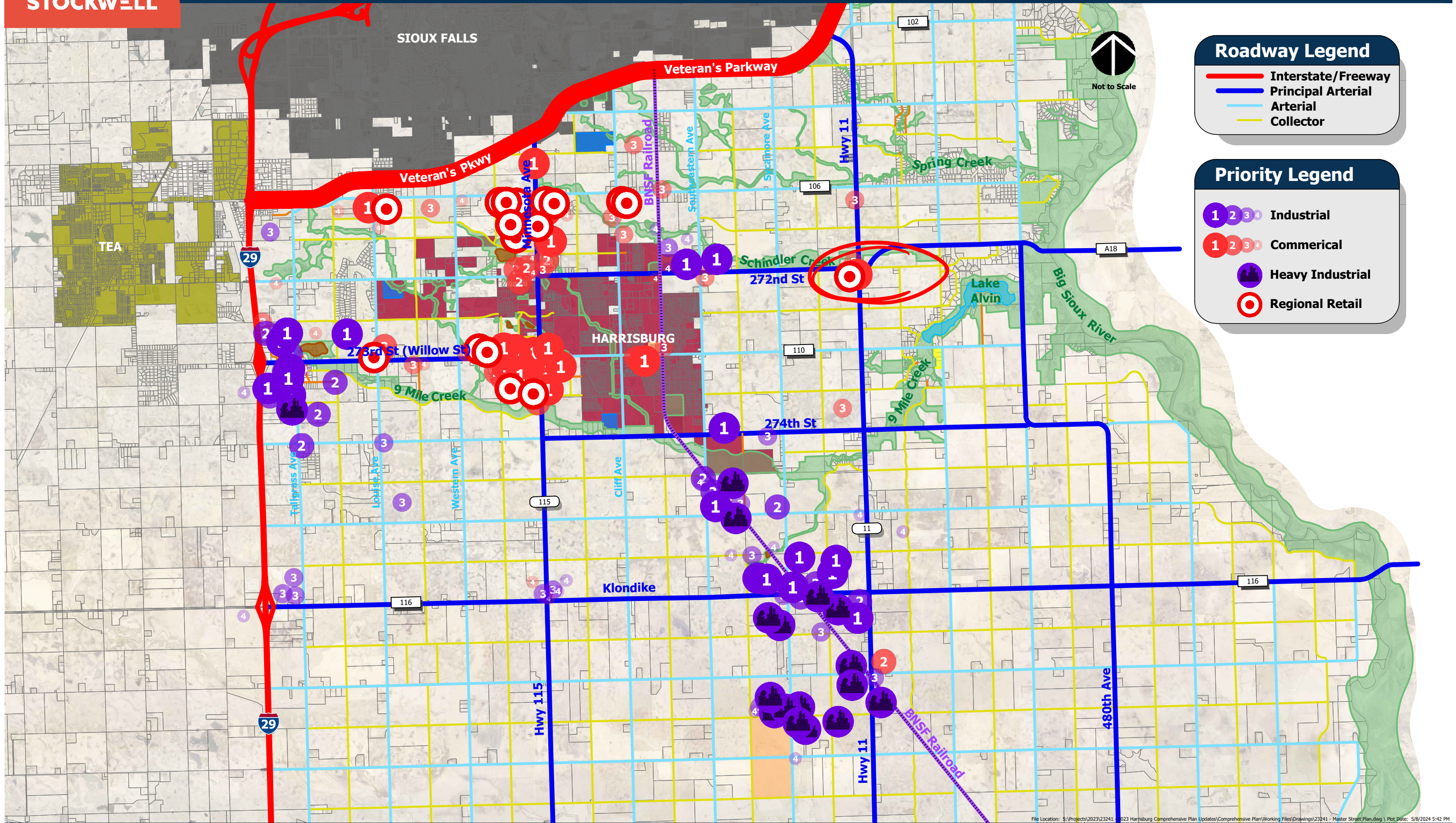




### Roadway Legend

- Interstate/Freeway
- Principal Arterial
- Arterial
- Collector

File Location: S:\Projects\2023\23241 - 2023 Harrisburg Comprehensive Plan Updates\Comprehensive Plan\Working Files\Drawings\23241 - Master Street Plan.dwg | Plot Date: 5/8/2024 5:41 PM

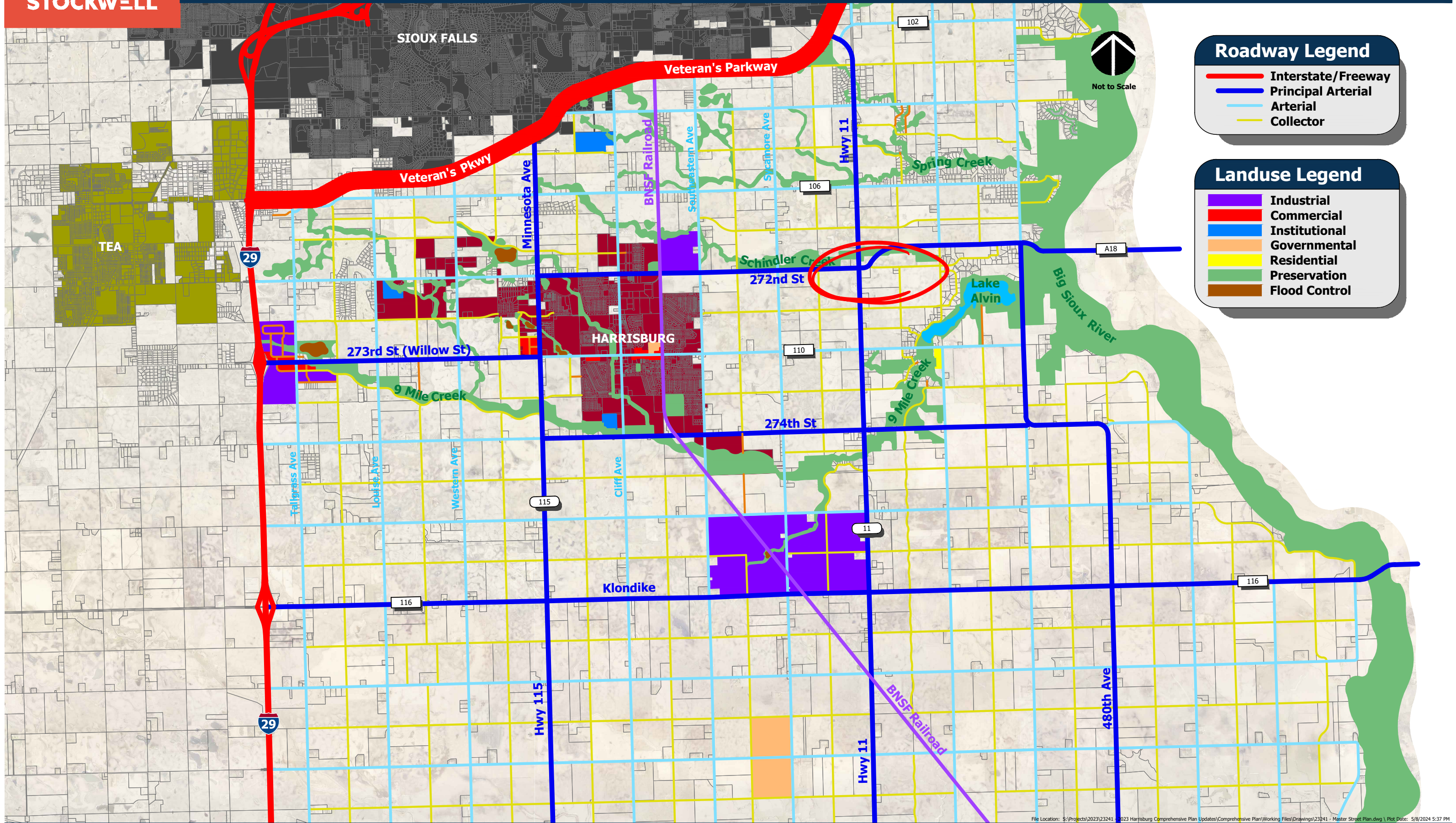


### Roadway Legend

- Interstate/Freeway
- Principal Arterial
- Arterial
- Collector

### Priority Legend

- Industrial
- Commercial
- Heavy Industrial
- Regional Retail



### Roadway Legend

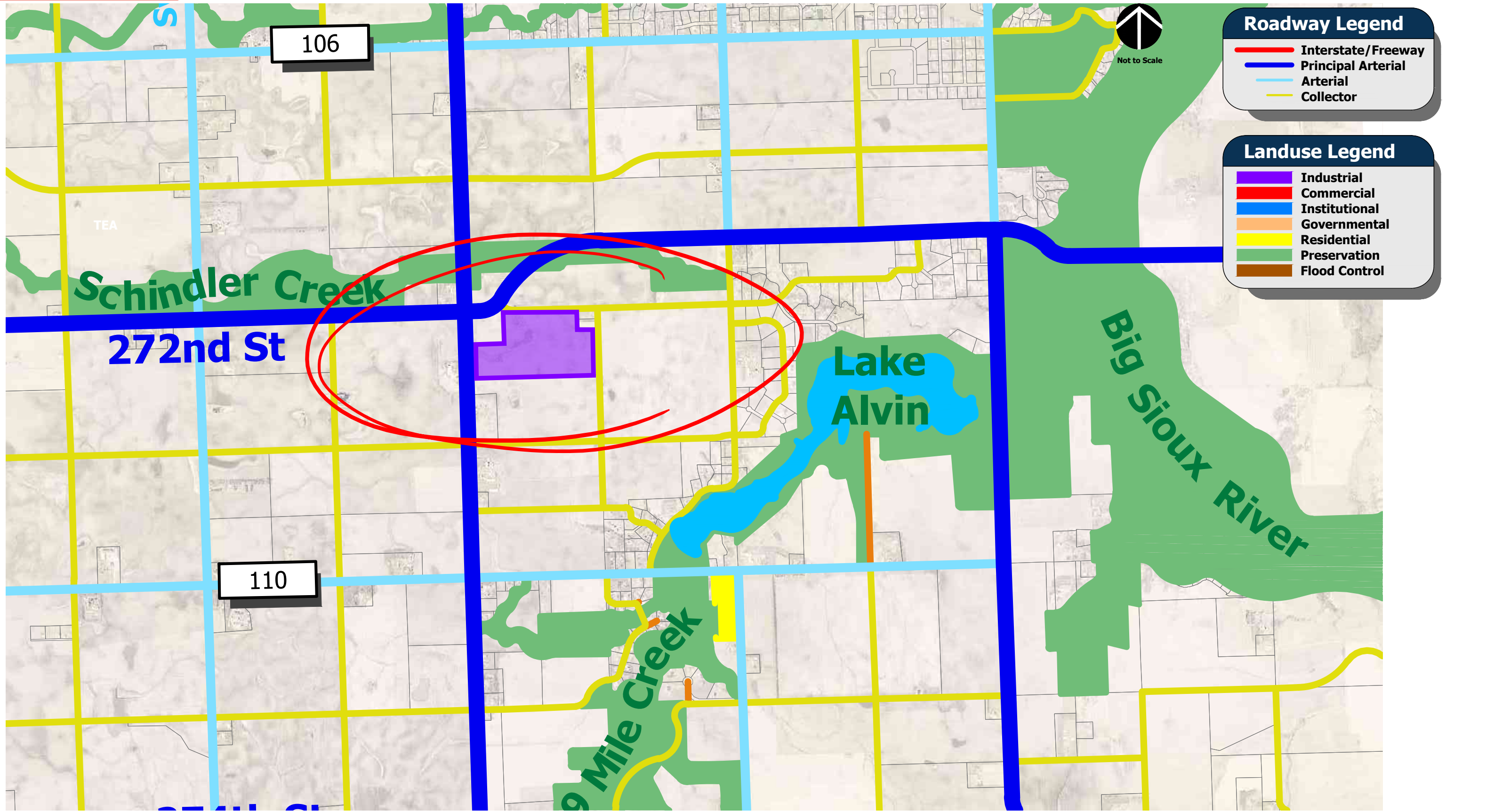
- Interstate/Freeway
- Principal Arterial
- Arterial
- Collector

### Landuse Legend

- Industrial
- Commercial
- Institutional
- Governmental
- Residential
- Preservation
- Flood Control

File Location: S:\Projects\2023\23241 - 2023 Harrisburg Comprehensive Plan Updates\Comprehensive Plan\Working Files\Drawings\23241 - Master Street Plan.dwg | Plot Date: 5/8/2024 5:37 PM



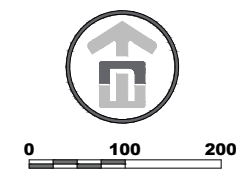


File Location: S:\Projects\Force Accounts\F04 - Harrisburg Force Account\2025 Projects\04\_25021 - Landuse Amendment - T100R49533\Maps\Working Files\04\_25021 - Master Street Plan.dwg \ Plot Date: 4/7/2025 11:17 AM



# SITE PLAN CONCEPT

HARRISBURG, SOUTH DAKOTA | 2025.04.04





301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032  
PHONE: 605-743-5872

## Agenda Item Staff Report

Date: April 8, 2025

To: Planning Commission

From: Planning and Building Services

---

**Agenda Item:**

**A petition for voluntary annexation of the property legally described as the northwest quarter, except Tract A in the southwest quarter of the northwest quarter, the southwest quarter, except Tract 1 of the Oppold Addition, and a portion of Tract 1 of the Oppold Addition, all in Section 28, Township 100 North, Range 50 West of the 5<sup>th</sup> Principal Meridian, Lincoln County, South Dakota. (Parcels: 100.50.28.2000, 100.50.28.3000, & 100.50.28.D100)**

Public Hearing:

Business Item:

Informational:

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**Information:**

- The applicant is Artessa, LLC
- The applicant is requesting an annexation of 307.29 acres.
- The land is on the east side of 472<sup>nd</sup> Avenue, between 272<sup>nd</sup> Street and 271<sup>st</sup> Street.
- The land is currently used for agriculture and will be rezoned in the future.
- The property is contiguous to the City of Harrisburg.
- This property is in the City of Harrisburg's sanitary sewer service area and in Lincoln County Rural Water System's water service area.
- The sanitary sewer is available at 272<sup>nd</sup> Street.

**Attachments:**

Petition for Voluntary Annexation  
Annexation Exhibit

**Staff Recommendation:**

Recommend approval to the City Council.



**City of Harrisburg  
Planning Services**

301 East Willow St. PO Box 26  
Harrisburg, SD 57032  
Phone: 767-5010 Fax: 743-2831

**PETITION FOR  
VOLUNTARY  
ANNEXATION**

We, the undersigned, hereby state that we constitute not less than three-fourths of the legal voters and further constitute the owners of not less than three-fourths in value of the within-described territory contiguous to the City of Harrisburg. We hereby petition the City Council of the City of Harrisburg to annex the following described territory pursuant to SDCL 9-4-1:

Legal description of property to be annexed: \_\_\_\_\_

**PARCEL 1: THE NORTHWEST QUARTER, EXCEPT TRACT A IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, AND THE SOUTHWEST QUARTER, EXCEPT TRACT 1 OF OPPOLD ADDITION, ALL IN SECTION 28, TOWNSHIP 100 NORTH, RANGE 50 WEST OF THE 5TH PM., LINCOLN COUNTY, SOUTH DAKOTA**

**PARCEL 2: A PORTION OF TRACT 1 OF OPPOLD ADDITION IN SECTION 28, TOWNSHIP 100 NORTH, RANGE 50 WEST OF THE 5TH PM., LINCOLN COUNTY, SOUTH DAKOTA**

Proposed land use (zoning) of property to be annexed: Mixed, see Preliminary Plan

Petitioner name: Artessa, LLC Date: 04/04/2025

Petitioner address: 719 Sioux Point Rd., Dakota Dunes, SD 57049

Signatures:

  
Kyle Kelly, Manager

Kathy R. Becker

Steven W. Becker

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**OWNER:**  
 PARCEL 1: ARTESSA, LLC  
 719 SIOUX POINT ROAD  
 DAKOTA DUNES, SD 57049  
 715-223-3671  
 EMAIL: KYLE@KELLYCONSTRUCTION.COM

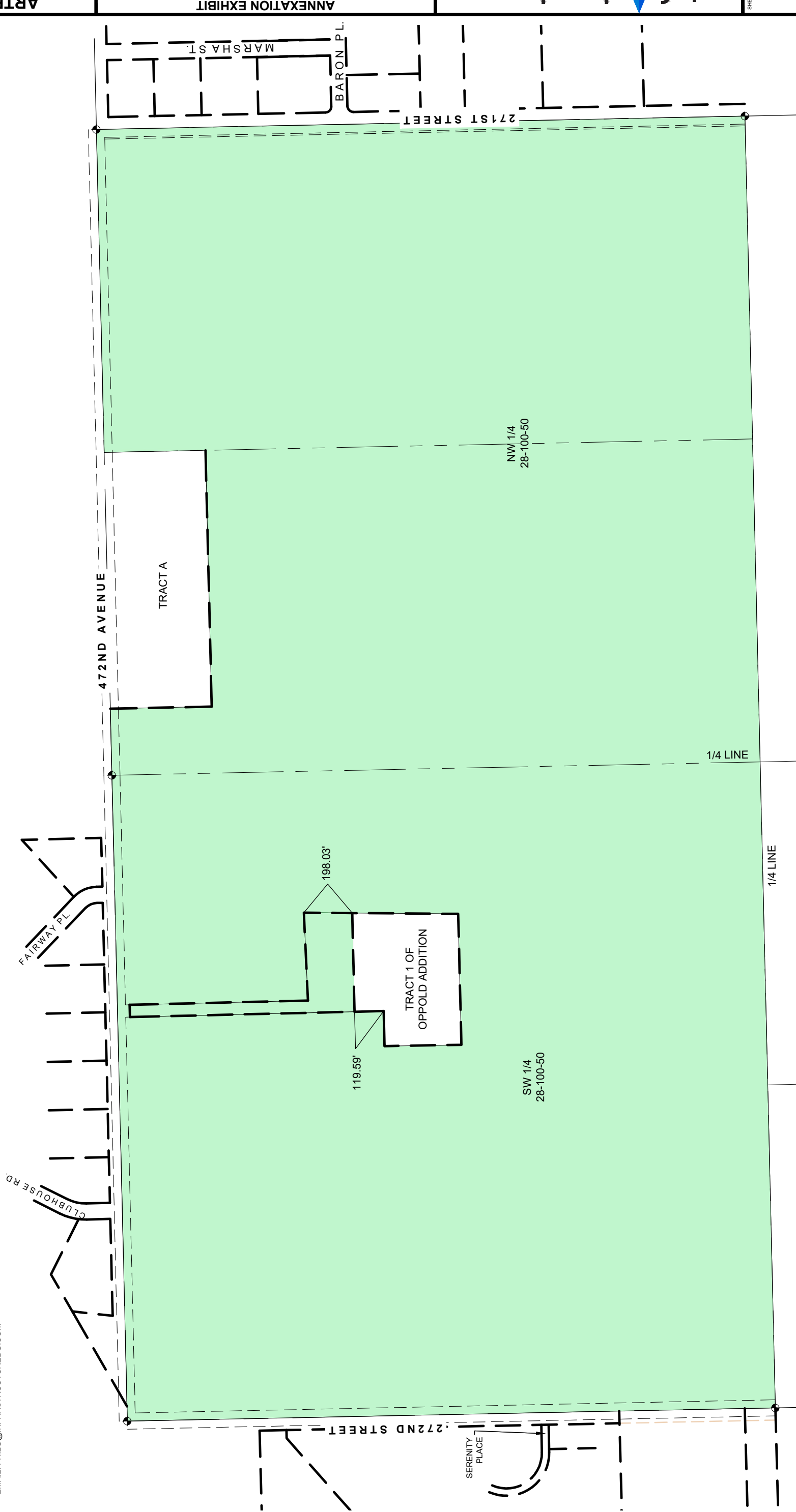
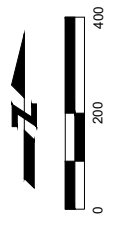
PARCEL 2: STEVE & KATHY BECKER  
 27168 472ND AVENUE  
 SIOUX FALLS, SD 57108

**CIVIL ENGINEER / SURVEYOR:**  
 INFRASTRUCTURE DESIGN GROUP, INC.  
 116 W 69TH STREET, SUITE 200  
 SIOUX FALLS, SD 57108  
 (712) 271-5527  
 EMAIL: PHILG@INFRASTRUCTUREDG.COM

**LEGAL DESCRIPTION TO BE ANNEXED:**  
 PARCEL 1: THE NORTHWEST QUARTER, EXCEPT TRACT A IN THE  
 SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, AND THE  
 SOUTHWEST QUARTER, EXCEPT TRACT 1 OF OPPOLD ADDITION, ALL  
 IN SECTION 28, TOWNSHIP 100 NORTH, RANGE 50 WEST OF THE 5TH  
 PM., LINCOLN COUNTY, SOUTH DAKOTA

PARCEL 2: A PORTION OF TRACT 1 OF OPPOLD ADDITION IN SECTION  
 28, TOWNSHIP 100 NORTH, RANGE 50 WEST OF THE 5TH PM.,  
 LINCOLN COUNTY, SOUTH DAKOTA

**TOTAL ACRES OF AREA TO BE ANNEXED:**  
 PARCEL 1: 304.84 ACRES  
 PARCEL 2: 2.65 ACRES



**ARTESSA ADDITION  
 ANNEXATION PLAN  
 HARRISBURG, SD**

**ANNEXATION EXHIBIT**

DESIGNED BY: IDG
DRAWN BY: IDG
CHECKED BY: IDG
ACAD FILE: 23090_Annexation Layout.dwg
DATE:
BY:
DATE:
REVISIONS:





301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032  
PHONE: 605-743-5872

## Agenda Item Staff Report

Date: April 8, 2025

To: Planning Commission

From: Planning and Building Services

---

**Agenda Item:**  
**Preliminary Plan for Artesa Addition.**

Public Hearing:

Business Item:

Informational:

---

**Information:**

- The applicant is Kelly Construction.
- These 307.29 acres are on the east side of 472<sup>nd</sup> Avenue between 271<sup>st</sup> Street and 272<sup>nd</sup> Street.
- The City's subdivision approval process is discussed in the *City of Harrisburg Ordinance 2021-07 Subdivision Regulations (Revised)* and includes the following steps:
  - Concept Plan
  - **Preliminary Subdivision Plan**
  - Engineering Submittals
  - Plat
- The Preliminary Subdivision Plan is designed to assist the Subdivider and the City with the efficient and timely development of lots and infrastructure throughout a subdivision. Plans will be evaluated for compliance with the City's Design Standards and comprehensive plans for development and infrastructure.
- The requirements of the Preliminary Subdivision Plan are discussed in Chapter 9 of the *Harrisburg Design Standards* and includes the following:
  - Title Page, General Notes, and Existing Conditions
  - Land Use and Phasing Plan and Lot Layouts
  - Plans for Storm Drainage, Sanitary Sewer, Water, Street Lights, and Access
- The City Engineer has reviewed the Preliminary Subdivision Plan, determined the plan complies with state and local regulations, and recommends the acceptance of the Preliminary Subdivision Plan.

**Attachments:**

Preliminary Subdivision Plan

**Staff Recommendation:**

Recommend approval to the City Council contingent on annexation into the City of Harrisburg.

April 4, 2025

*via email*  
Heath VonEye  
City of Harrisburg  
[Heath.voneye@harrisburgsd.gov](mailto:Heath.voneye@harrisburgsd.gov)

04\_24055 | SEI No.  
Preliminary Plan | Encl  
Phillip Gundvaldson, Infrastructure Design Group | Cc  
Chad Huwe, Stockwell Engineers | Cc  
Mitch Mergen, Stockwell Engineers | Cc

Re: Preliminary Plan Review  
Artessa Addition

Dear Mr. VonEye:

Enclosed please find a preliminary plan prepared by an Engineer licensed and in good standing with the State of South Dakota. Stockwell Engineers reviewed and provided comments as a courtesy to aid the applicant in preparing its submittals. Compliance with state and local ordinances or other governing agencies is the responsibility of the applicant and its agents. Copies of the City's subdivision regulations, design standards and local ordinances are available at City Hall for the applicant's reference. The Engineer of record is responsible to ensure the submittals uphold the City's and all other governing agency's requirements in full.

The Engineer addressed our comments to our satisfaction. We have no further comments and offer our recommendation to accept the preliminary plan as an accompaniment to the Developer's application. Prior to approval, the developer shall submit CAD drawings to our office for staff's use. If there are questions regarding our correspondence, please contact our office.

Respectfully submitted,

STOCKWELL ENGINEERS, INC.



Ross Kuchta, PE  
Project Engineer

April 1, 2025

Infrastructure Design Group, Inc.  
116 W. 69<sup>th</sup> Street  
Sioux Falls, SD 57108

**RE: Preliminary Subdivision Plan for the Artessa Addition to the City of Harrisburg, SD**

Mr. Kuchta,

Below, please see Infrastructure Design Group's responses to review comments received via email March 7th, 2025 for the above referenced project. IDG responses are shown in **blue**.

Included with this resubmittal is a complete copy of the revised Preliminary Subdivision Plan with review comments incorporated as noted below.

- 
1. You do not need to adjust the water valves for this submittal, but for the Engineering submittal, we will want the valves placed outside the intersections. I believe the intent is that at some point in the future the City will be taking over these watermains, and we would prefer the valves be placed at locations desirable to the City. **Accepted**
  2. Our new comment is regarding the length of the dead end section of Bluestem Avenue. Bluestem currently dead ends at the existing acreage that is not part of the development. We would anticipate at some point in the future for the acreage to be further subdivided and incorporated into the development. At such time, the street would be extended and the length of the dead-end street would exceed the design standards. We would like to see a proposed extension of utilities and street from either Bluestem Court or Valley View Circle to the existing acreage to eliminate the dead end. **Accepted**

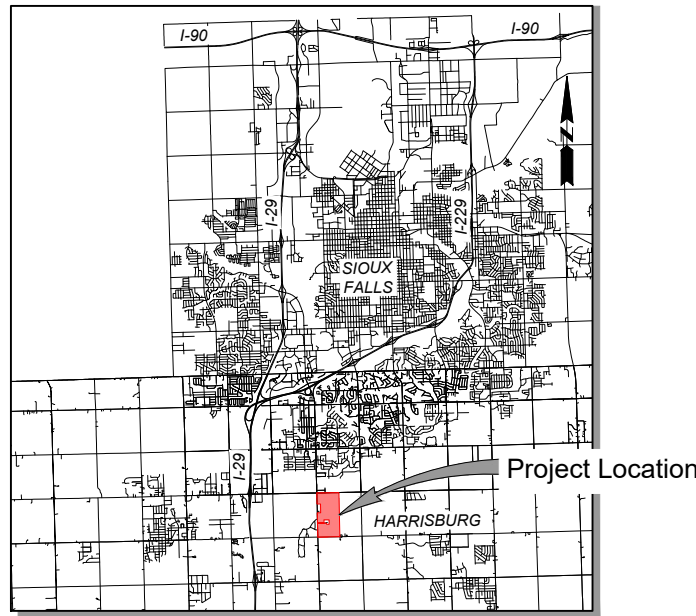
**Note: After working through design issues we rearranged the lot layout on the west side of Phase 1**



# CITY OF HARRISBURG LINCOLN COUNTY

# ARTESSA ADDITION PRELIMINARY SUBDIVISION PLAN

2025



Vicinity Map

**CITY COUNCIL APPROVAL**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HARRISBURG THAT THE PRELIMINARY PLAN OF THE ARTESSA DEVELOPMENT TO THE CITY OF HARRISBURG IS HEREBY APPROVED AND THAT THE FINANCE OFFICER OF THE CITY OF HARRISBURG IS HEREBY DIRECTED TO ENDORSE ON SUCH PLAN A COPY OF THIS RESOLUTION AND CERTIFY THE SAME THEREON.

ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
MAYOR  
CITY OF HARRISBURG, SOUTH DAKOTA

ATTEST:

\_\_\_\_\_  
CITY FINANCE OFFICER  
CITY OF HARRISBURG, SOUTH DAKOTA

STATE OF SOUTH DAKOTA)  
:SS  
COUNTY OF LINCOLN)

I, \_\_\_\_\_, THE DULY APPOINTED, QUALIFIED AND ACTING FINANCE OFFICER OF THE CITY OF HARRISBURG, SOUTH DAKOTA, HEREBY CERTIFY THAT THE ABOVE RESOLUTION IS A TRUE AND CORRECT COPY OF THE RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF HARRISBURG AT A MEETING HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

WITNESS MY HAND AS CITY FINANCE OFFICER AND THE OFFICIAL SEAL OF THE CITY OF HARRISBURG, SOUTH DAKOTA

\_\_\_\_\_  
CITY FINANCE OFFICER  
CITY OF HARRISBURG, SOUTH DAKOTA

**CITY PLANNING COMMISSION APPROVAL**

THE CITY PLANNING COMMISSION OF THE CITY OF HARRISBURG APPROVES THE PRELIMINARY PLAN OF THE ARTESSA DEVELOPMENT TO THE CITY OF HARRISBURG AND THE SAME IS RECOMMENDED TO THE CITY COUNCIL OF THE CITY OF HARRISBURG FOR APPROVAL.

\_\_\_\_\_  
CITY OF HARRISBURG PLANNING COMMISSION  
(CHAIR)

**AUTHORIZED OFFICIAL APPROVAL**

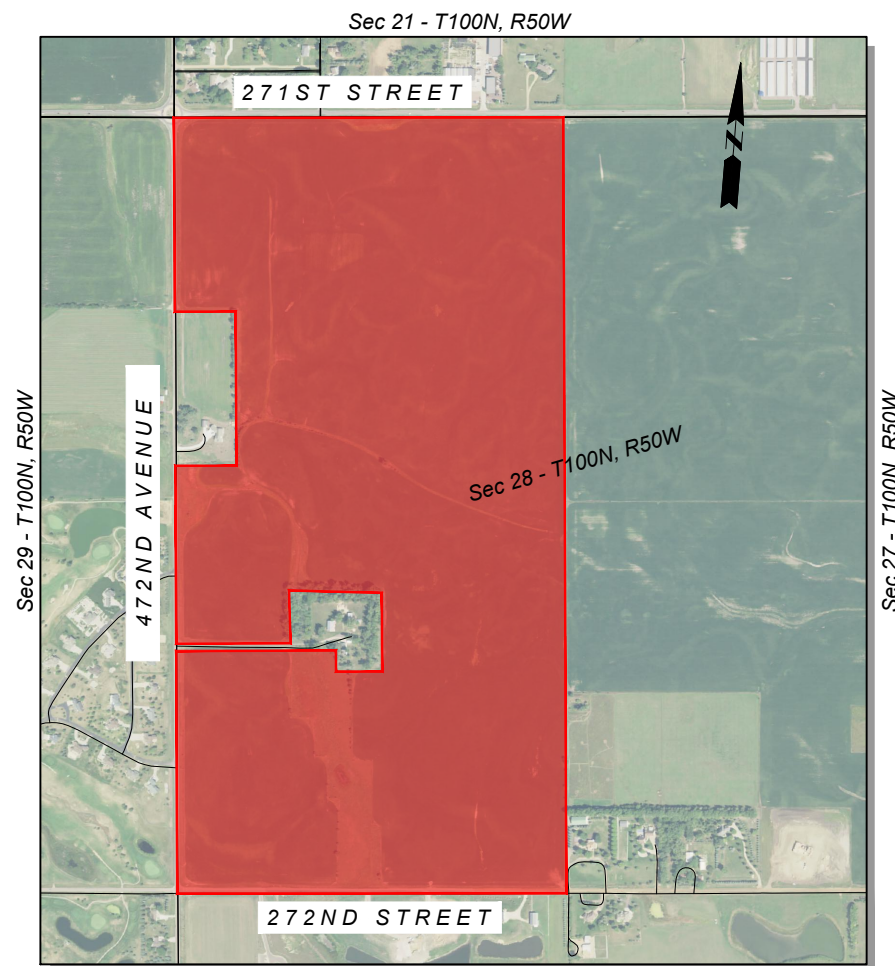
I, \_\_\_\_\_, AUTHORIZED OFFICIAL OF THE CITY OF HARRISBURG, DO HEREBY CERTIFY THAT I DID DULY REVIEW AND RECOMMEND APPROVAL OF THIS PRELIMINARY PLAN ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
AUTHORIZED OFFICIAL  
CITY OF HARRISBURG, SOUTH DAKOTA

**CITY ENGINEER APPROVAL**

I, \_\_\_\_\_, CITY ENGINEER OF THE CITY OF HARRISBURG, DO HEREBY CERTIFY THAT I DID DULY REVIEW AND RECOMMEND APPROVAL OF THIS PRELIMINARY PLAN ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
CITY ENGINEER  
CITY OF HARRISBURG, SOUTH DAKOTA



Location Map

**Plans By:**



116 W. 69TH STREET, SUITE 200  
SIOUX FALLS, SOUTH DAKOTA 57108  
PH. (605) 271-5527  
www.infrastructuredg.com

**Index of Sheets**

SHEET NO. A.01 - A.02	TITLE SHEET & LEGEND
SHEET NO. B.01	GENERAL NOTES
SHEET NO. C.01	TYPICAL SECTIONS
SHEET NO. D.01 - D.09	EXISTING CONDITIONS
SHEET NO. E.01 - E.09	LAND USE & LOT LAYOUT
SHEET NO. F.01	PHASING LAYOUT
SHEET NO. G.01 - G.09	DRAINAGE PLAN
SHEET NO. H.01 - H.18	UTILITY PLAN
SHEET NO. I.01 - I.09	LIGHTING PLAN
SHEET NO. J.01	ACCESS PLAN
SHEET NO. K.01	EPCON LOT EXHIBIT

**OWNER / DEVELOPER:**  
KELLY CONSTRUCTION  
719 SIOUX POINT ROAD  
DAKOTA DUNES, SD 57049  
(712) 223-3671  
EMAIL: KYLE@KELLYCONSTRUCTION.COM

**CIVIL ENGINEER / SURVEYOR:**  
INFRASTRUCTURE DESIGN GROUP, INC.  
116 W 69TH STREET, SUITE 200  
SIOUX FALLS, SD 57108  
(605) 271-5527  
EMAIL: PHILG@INFRASTRUCTUREDG.COM

**BENCHMARKS**  
**BM #1 (CP21)**  
REBAR WITH ALUMINUM CAP  
NORTHWEST QUADRANT OF 272ND STREET & 472ND AVENUE  
INTERSECTION  
ELEV = 1475.87 (NAVD88)

**BM#2 (CP 22)**  
REBAR WITH ALUMINUM CAP  
SOUTHEAST QUADRANT OF 271ST STREET & 472ND AVENUE  
INTERSECTION  
ELEV = 1497.84 (NAVD88)

**CURRENT LEGAL DESCRIPTION:**  
THE NORTHWEST QUARTER, EXCEPT TRACT A IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, AND THE SOUTHWEST QUARTER, EXCEPT TRACT 1 OF OPPOLD ADDITION, ALL IN SECTION 28, TOWNSHIP 100 NORTH, RANGE 50 WEST OF THE 5TH PM., LINCOLN COUNTY, SOUTH DAKOTA

**TO BE PLATTED AS:**  
ARTESSA ADDITION TO THE CITY OF HARRISBURG, SOUTH DAKOTA

**TOTAL ACRES OF SUBDIVISION:**  
304.64 ACRES

I, Philip L. Gundvaldson, hereby certify that these plans were prepared by me, or under my direct supervision and that I am a duly registered engineer under the laws of the State of South Dakota.

PHILIP L. GUNDAVDSON S.D. No. 9234 Date

# LEGEND OF SYMBOLS

	EXISTING FIRE HYDRANT		PROPOSED VALVE & BOX		WATER
	EXISTING VALVE & BOX		PROPOSED TEE		WELL
	EXISTING WATER MANHOLE		PROPOSED CROSS		TEST HOLE AND NUMBER
	EXISTING SANITARY MANHOLE		PROPOSED REDUCER OR INCREASER		SPOT LIGHT
	EXISTING JUNCTION BOX		PROPOSED SLEEVE		STREET LIGHT
	EXISTING APPROACH		PROPOSED FIRE HYDRANT		TRAFFIC SIGNAL LIGHT
	EXISTING SIDEWALK		PROPOSED 90° BEND		PEDESTRIAN SIGNAL LIGHT
	EXISTING DROP INLET		PROPOSED 45° BEND		GUY ANCHOR
	EXISTING CULVERT		PROPOSED 22 1/2° BEND		POWER POLE
	EXISTING CONTOURS		PROPOSED 11 1/4° BEND		UTILITY CLOSURE
	VITRIFIED CLAY PIPE		PROPOSED M.J. PLUG		SIGN
	SOLID WALL POLYVINYL CHLORIDE PIPE		GAS MAIN & SIZE		SPRINKLER HEAD
	POLYVINYL CHLORIDE TRUSS COMPOSITE PIPE		UNDERGROUND TELEPHONE		GAS METER
	ACRYLONITRILE-BUTADIENNE-STYRENE COMPOSITE		OVERHEAD TELEPHONE		MAILBOX
	CLOSED PROFILE WALL POLYVINYL CHLORIDE PIPE		UNDERGROUND POWER		HEDGE, BRUSH, SHRUBS, WOODS
	DUCTILE IRON PIPE		OVERHEAD POWER		DECIDUOUS TREE
	REINFORCED CONCRETE PIPE		FIBER OPTIC		CONIFEROUS TREE
	CAST IRON PIPE		UNDERGROUND CABLE TV		BENCHMARK LOCATION
	CURED IN PLACE PIPE		OVERHEAD CABLE TV		
	POLYETHYLENE PIPE		TRAFFIC		
	EXISTING WATER MAIN & SIZE		INDUSTRIAL WASTE		
	EXISTING STORM SEWER & SIZE		LAWN SPRINKLER LINE		
	GRAVITY SANITARY SEWER		WOOD FENCE		
	FORCE MAIN SANITARY SEWER		CHAIN LINK FENCE		
	COMBINED SEWER		BARBED WIRE FENCE		
	WATER SHUTOFF		CENTERLINE		
	PROPOSED WATER MAIN & SIZE		PROPERTY LINE		
	PROPOSED SANITARY SEWER		CONC. CURB & GUTTER		
	PROPOSED STORM SEWER & SIZE		PROPOSED APPROACH		
	PROPOSED SANITARY CLEAN OUT		PROPOSED SIDEWALK		
			PROPOSED DROP INLET		
			PROPOSED STORM SEWER JUNCTION BOX		
			PROPOSED CONTOURS		

**LEGEND**

DESIGNED BY:	ACAD FILE:	DATE:
DRAWN BY:	CHECKED BY:	DATE:
CHECKED BY:	DATE:	BY:
REVISIONS:	DATE:	BY:

**SUPPLEMENTAL PROVISIONS TO CITY STANDARDS**

Current editions of the City of Harrisburg Subdivision Regulations and Design Standards will be implemented into this project. Supplemental provisions are not anticipated.

**EXPECTATIONS FOR CITY REIMBURSEMENTS**

The Developer would request the City of Harrisburg to participate in oversizing costs in compliance with resolution 2019-16.

Oversized utilities to be considered for reimbursement include approximately 4,105 ft of 15" sanitary sewer trunk main extended through the development from 272<sup>nd</sup> Street to 472<sup>nd</sup> Avenue to serve future development to the west of 472<sup>nd</sup> Ave.

**INTENTIONS FOR OWNERSHIP AND MAINTENANCE OF IMPROVEMENTS**

It is anticipated that the City of Harrisburg will own and maintain all completed public streets, sewer mains, storm drainage systems including major drainageways and detention facilities, and public space included in this plan unless otherwise noted.

Proposed potable water systems including water mains, services, and meters within the development will be owned and maintained by the Lincoln County Rural Water System.

**ANTICIPATED PLANS FOR MITIGATION**

It's anticipated that Jurisdictional Wetlands may exist within the development. The full extents of Jurisdictional Wetlands and impacts resulting from development activities, if any, are still being determined at the time of this plan submittal.

Permanent impacts to Jurisdictional Wetland areas will be coordinated with the USACE, and necessary permitting and mitigation actions will be taken by the Developer per CWA Section 404.

**IMPACTS TO FLOOD PLAIN**

There is no effective or preliminary floodplain designated by FEMA within the development. Houston Engineering is currently conducting a drainage study of the existing major drainageway within the development to determine 1% annual chance highwater elevations and flow rates.

**INTENT FOR PUBLIC SPACE CONTRIBUTIONS**

The Developer intends to dedicate public space and recreational areas per City of Harrisburg Subdivision Regulations and at locations designated in these plans.

**SPECIAL NOTES PERTAINING TO THE SUBDIVISION**

**Discussion of Epcon Community**

Within areas of Blocks 19,21,22,23,28 and South half of Block 29– Zoned R-2 - it is the intent of the Developer to construct homes by Epcon Communities which require less lot frontage than the minimums set forth in the Harrisburg Zoning Regulations. Please see sheet K.01 which depicts a typical Epcon single-family home situated on a 52.0' frontage lot.

The Developer understands that this lot configuration does not meet Zoning Regulations for side-yard minimums for traditional R-2 lots, and exceeds the maximum 40% lot coverage for Pocket Neighborhood lot standards. The Developer is interested in beginning discussions with the City to find a solution that promotes private development and enhances the neighborhood fabric of Harrisburg.

**Discussion of General Business (GB) Tract Intentions**

Tract 4 of the development, shown to be zoned General Business, is intended to be developed separately from the Artesa Addition. The future use of this tract is envisioned to be primarily General Business.

Water, sewer, and storm drainage facilities for the General Business tract will be determined with individual site development plans.

**Traffic and Street Intentions**

A traffic study is currently underway to evaluate impacts to adjacent transportation systems from proposed developed conditions.

It is the understanding at this time that proposed access points to existing adjacent roads are accepted and approved by the City of Harrisburg, and that discussions are underway between Harrisburg and Lincoln County for future ownership and maintenance of 271<sup>st</sup> Street and 472<sup>nd</sup> Avenue to be transferred to the City of Harrisburg.

**272<sup>nd</sup> Street Asphalt Pavement Extension**

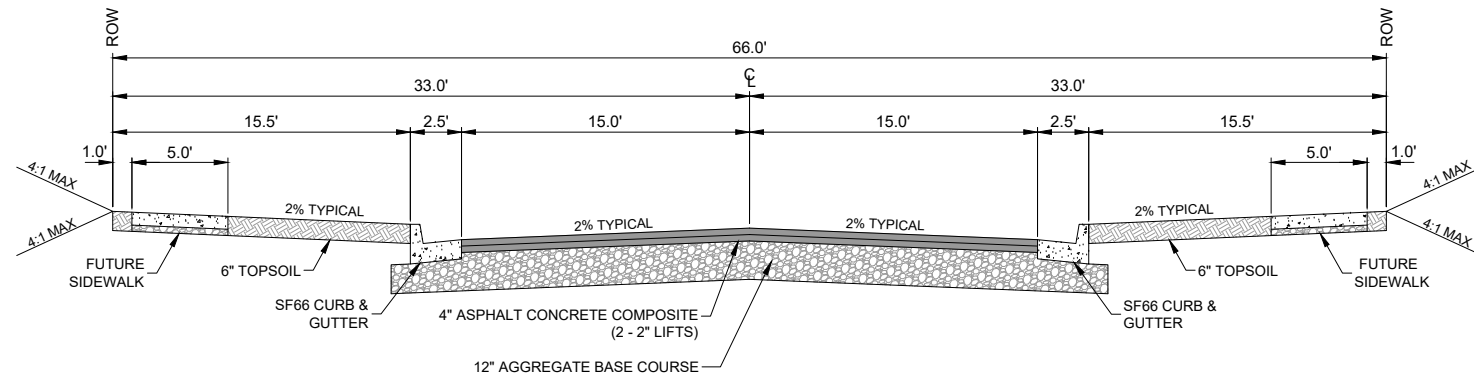
The Developer intends to extend the existing asphalt pavement along 272<sup>nd</sup> Street from approx. 2000' east of 472<sup>nd</sup> Avenue, eastward to the 1/4 Section Line. The proposed asphalt will match the existing typical section along 272<sup>nd</sup> Street constructed with the Whiskey Creek Addition. It's anticipated this work will be completed with Phase 1 construction of the Artesa Development.

**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

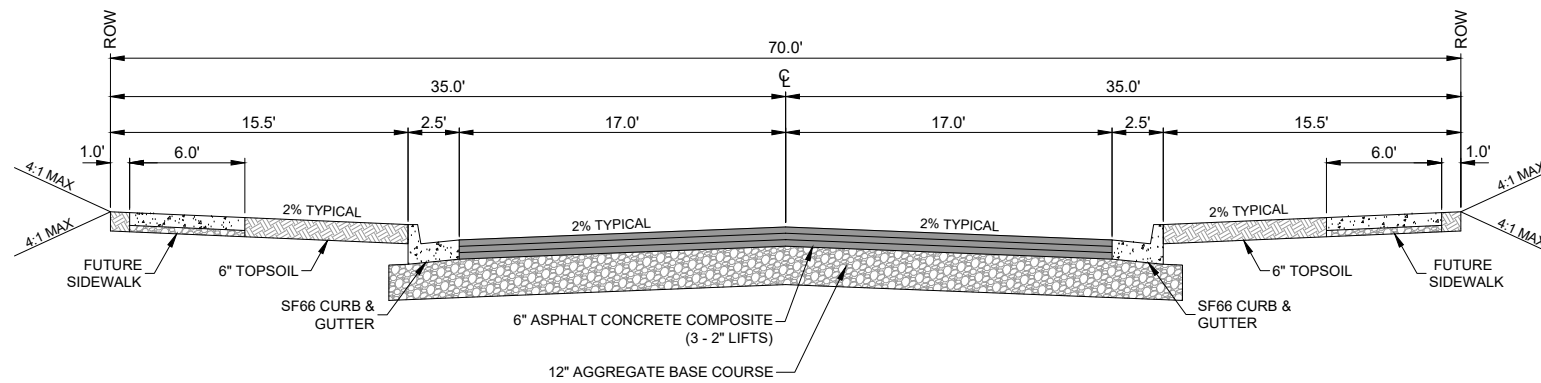
**GENERAL NOTES**

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DRAWN BY: IDG  
CHECKED BY: IDG  
REVISIONS: \_\_\_\_\_  
ACAD FILE: 20090\_Prelim\_General Notes  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

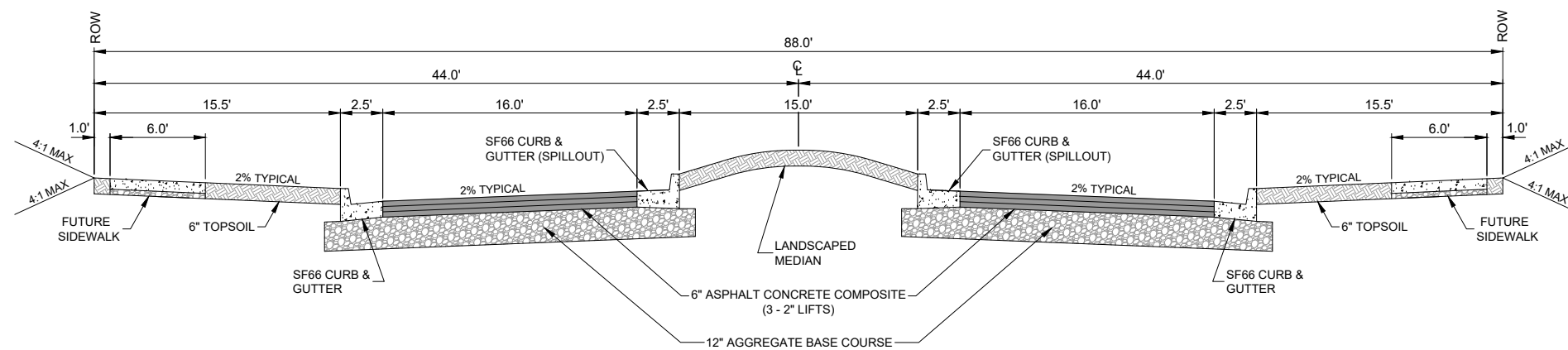




**LOCAL RESIDENTIAL STREET - 66' RIGHT OF WAY**



**COLLECTOR STREET - 70' RIGHT OF WAY**



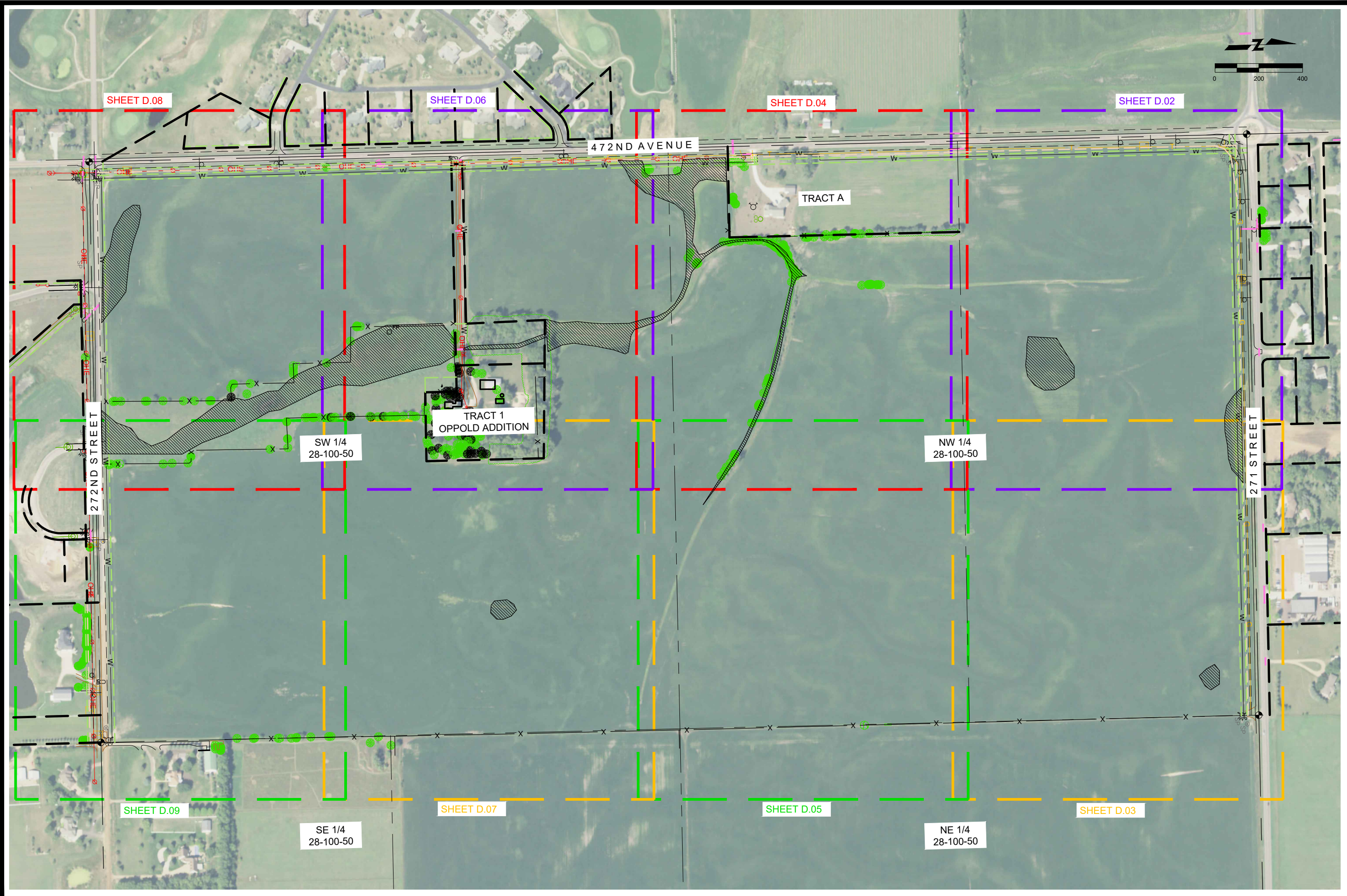
**COLLECTOR STREET WITH MEDIAN - 88' RIGHT OF WAY**

TYPICAL COLLECTOR STREET SECTION AT APPROACHES TO 272ND STREET AND 472ND AVENUE

TYPICAL SECTIONS

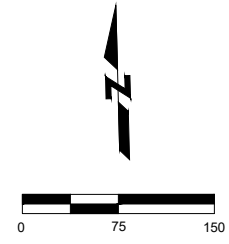
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REVISIONS:	DATE:

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PLOT DATE: 4/27/2024 8:07 AM Andrew Burdette



<b>ARTESSA ADDITION</b> PRELIMINARY SUBDIVISION PLAN HARRISBURG, SD	
<b>EXISTING CONDITIONS - SHEET ORIENTATION</b>	
DESIGNED BY: IDG	ACAD FILE: 23090_Prim_E-isting Conditions.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:
<b>infrastructure</b> design group, inc.	
SHEET NO.	<b>D.01</b>

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PLOT DATE: 4/27/2024 8:07 AM Andrina Burchette



**ARTESSA ADDITION**  
**PRELIMINARY SUBDIVISION PLAN**  
**HARRISBURG, SD**

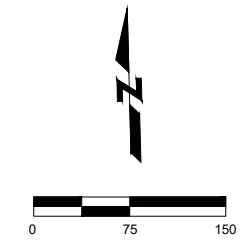
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REVISIONS:	BY: DATE:



SHEET NO.

**D.02**



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**ARTESSA ADDITION**  
**PRELIMINARY SUBDIVISION PLAN**  
 HARRISBURG, SD

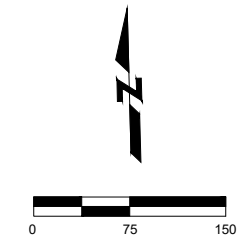
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REVISIONS:	BY: DATE:



SHEET NO.  
**D.03**

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PLOT DATE: 4/27/2024 8:07 AM Andrew Burdette



**EXISTING CONDITIONS**

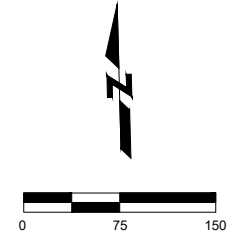
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REVISIONS:	BY: DATE:



**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**



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PLOT DATE: 4/27/2024 8:07 AM Andrew Burdette



**EXISTING CONDITIONS**

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DATE: \_\_\_\_\_

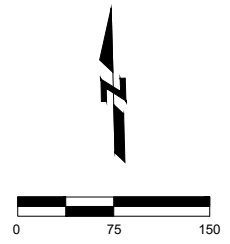


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**D.05**

**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

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PLOT DATE: 4/27/2024 8:08 AM Andrina Burchette



SE 1/4 SECTION 29, TOWNSHIP 100N, RANGE 50W

LOT 8, BLOCK 2 BAKKER CROSSING FIRST ADDITION

FAIRWAY PL

LOT 6, BLOCK 1 BAKKER CROSSING FIRST ADDITION

BAKKER CROSSING

LOT 5, BLOCK 1 BAKKER CROSSING FIRST ADDITION

472ND AVENUE

730' DRIVEWAY EASEMENT

LOT 4, BLOCK 1 BAKKER CROSSING FIRST ADDITION

LOT 3, BLOCK 1 BAKKER CROSSING FIRST ADDITION

FIRST ADDITION

LOT 2, BLOCK 1 BAKKER CROSSING FIRST ADDITION

ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

EXISTING CONDITIONS

DESIGNED BY: JDC	ACAD FILE: 23090_Prelim_Existing Conditions.dwg
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REVISIONS:	BY: DATE:



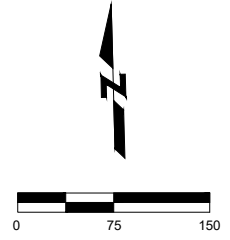
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**D.06**

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PLOT DATE: 10/20/23 8:08 AM Andrew Burdick



W 1/2 W 1/2 SW 1/4 SE 1/4  
SECTION 28, TOWNSHIP 100N, RANGE 50W

1/4 SECTION LINE



**EXISTING CONDITIONS**

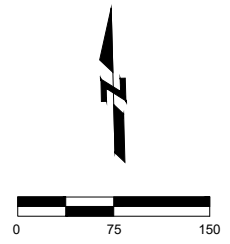
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**D.07**

**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**



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**ARTESSA ADDITION**  
**PRELIMINARY SUBDIVISION PLAN**  
**HARRISBURG, SD**

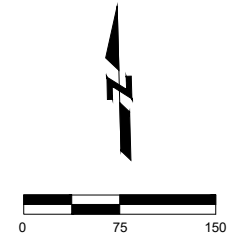
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**ARTESSA ADDITION**  
**PRELIMINARY SUBDIVISION PLAN**  
**HARRISBURG, SD**

**EXISTING CONDITIONS**

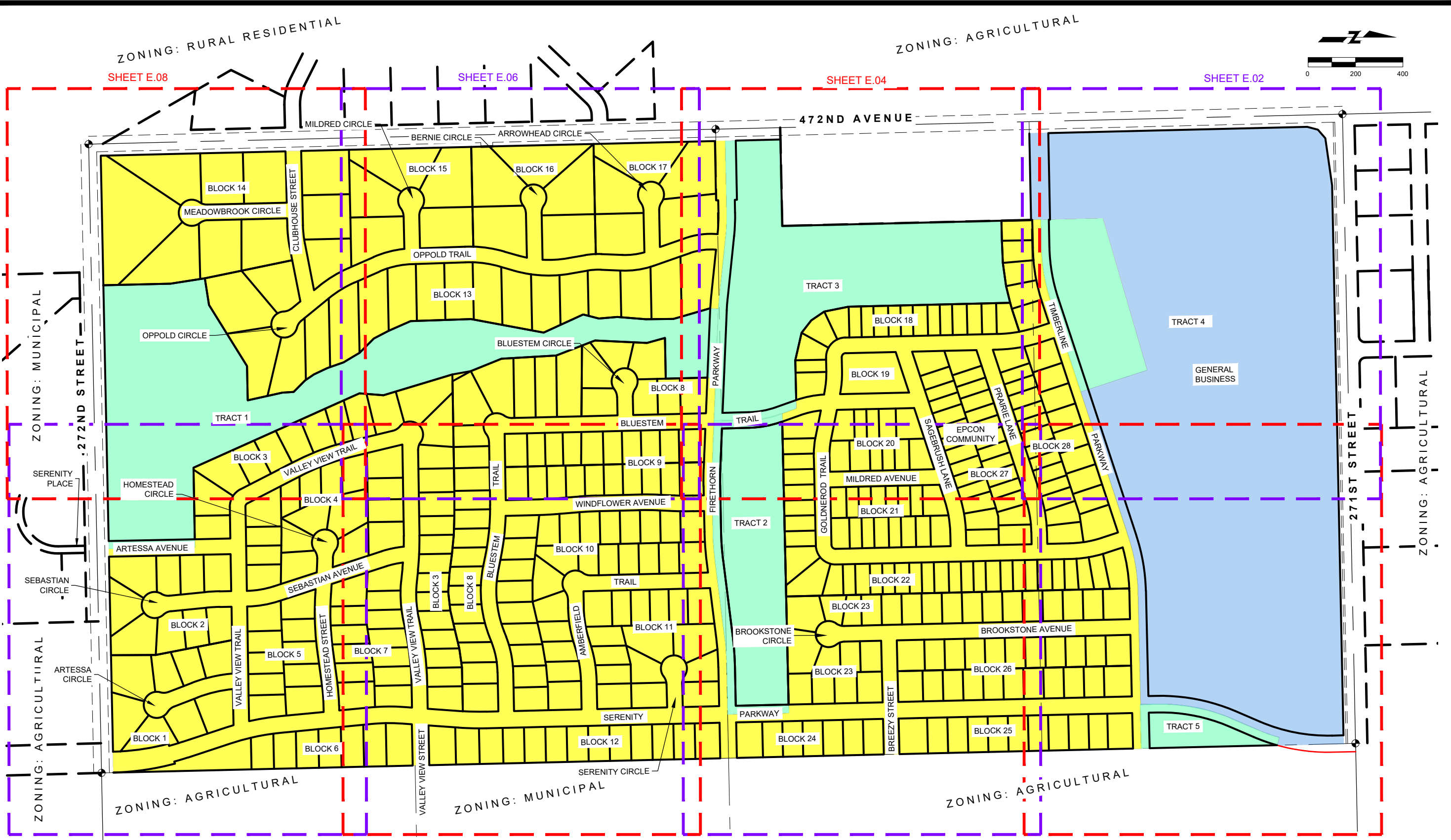
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SHEET NO.

**D.09**

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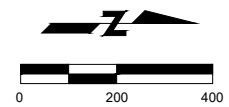


SHEET E.08

SHEET E.06

SHEET E.04

SHEET E.02



ZONING: RURAL RESIDENTIAL

ZONING: AGRICULTURAL

ZONING: MUNICIPAL

ZONING: AGRICULTURAL

ZONING: AGRICULTURAL

ZONING: MUNICIPAL

ZONING: AGRICULTURAL

ZONING: AGRICULTURAL

LEGEND

	R2 - LOW DENSITY RESIDENTIAL
	GB - GENERAL BUSINESS
	NR - NATURAL RESOURCE / PARK DEDICATION

ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

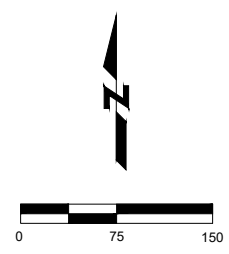
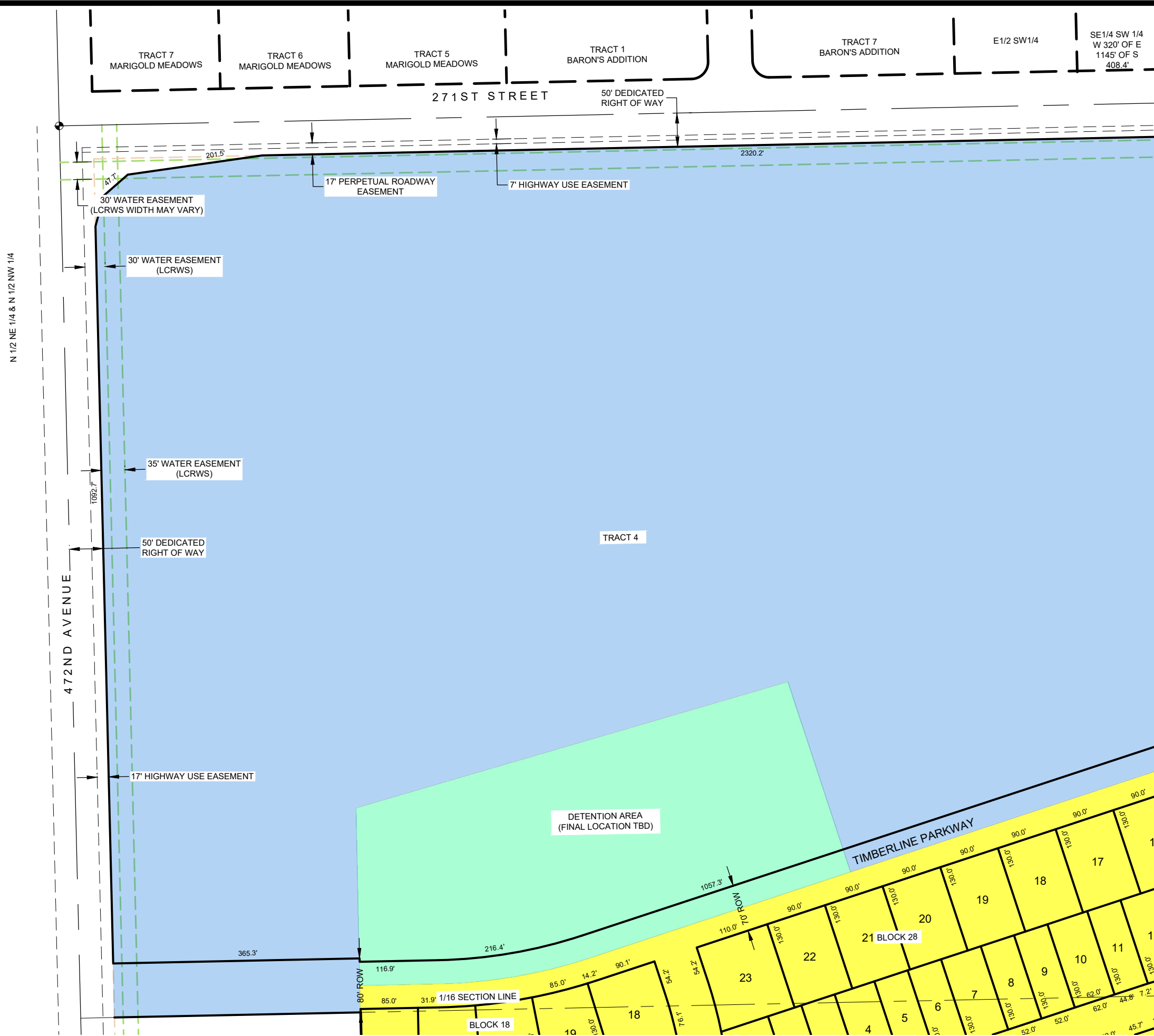
LAND USE & LOT LAYOUT - SHEET ORIENTATION

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REVISIONS:	DATE:



SHEET NO.  
**E.01**

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 PLOT DATE: 4/27/2024 8:49 AM - Andrina Burchette



LEGEND	
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<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	GB - GENERAL BUSINESS
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	NR - NATURAL RESOURCE / PARK DEDICATION

- NOTE:  
 ALL PARK, RECREATION AND DETENTION AREAS ARE INTENDED FOR PUBLIC USE
1. THERE SHALL BE A 10' UTILITY EASEMENT ADJACENT TO ALL ABUTTING PUBLIC STREET R.O.W.
  2. THERE SHALL BE A 5' WIDE UTILITY EASEMENT ALONG ALL ABUTTING BACK / REAR SINGLE FAMILY PROPERTY LINES

ZONING	LOT WIDTH (FT)	MINIMUM REQUIRED SETBACKS		
		FRONT YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)
<b>R-2 LOW DENSITY RESIDENTIAL</b>				
SINGLE-FAMILY ATTACHED DWELLING UNITS (ON NON PARTY WALL SIDE)	20	25	0	20
			7	
SINGLE-FAMILY DETACHED DWELING UNITS	65	25	7	20
<b>GB - GENERAL BUSINESS</b>				
ALL USES (LOT WIDTH 0 TO 50 FT)		15	5	5
ALL USES (LOT WIDTH 51 TO 100 FT)		20	5	5
ALL USES (LOT WIDTH 101 FT OR MORE)		25	5	5
<b>NR - NATURAL RESOURCE</b>	50	25	10	20

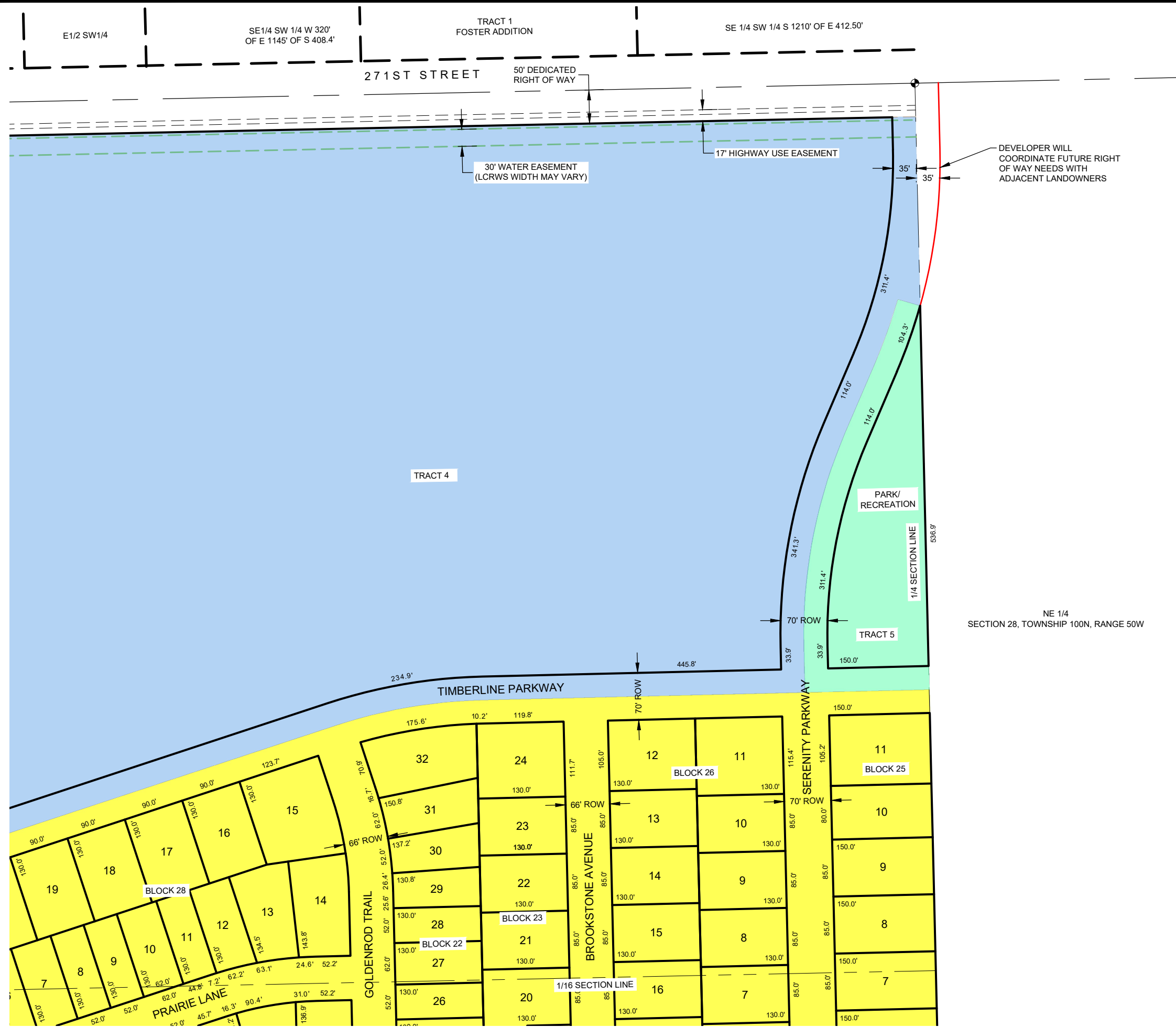
**ARTESSA ADDITION**  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD

**LAND USE & LOT LAYOUT**

DESIGNED BY: IDG  
 DRAWN BY: IDG  
 CHECKED BY: IDG  
 ACAD FILE: 23090\_Prelim\_Land\_Use\_Layout.dwg  
 DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 REVISIONS:



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 PLOT DATE: 4/27/2024 8:39 AM - Andres Buzhuk



E1/2 SW1/4      SE1/4 SW 1/4 W 320' OF E 1145' OF S 408.4'      TRACT 1 FOSTER ADDITION      SE 1/4 SW 1/4 S 1210' OF E 412.50'

271ST STREET

50' DEDICATED RIGHT OF WAY

30' WATER EASEMENT (LCRWS WIDTH MAY VARY)

17' HIGHWAY USE EASEMENT

35' 35'

DEVELOPER WILL COORDINATE FUTURE RIGHT OF WAY NEEDS WITH ADJACENT LANDOWNERS

TRACT 4

PARK/ RECREATION

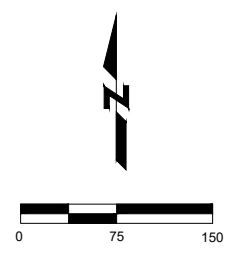
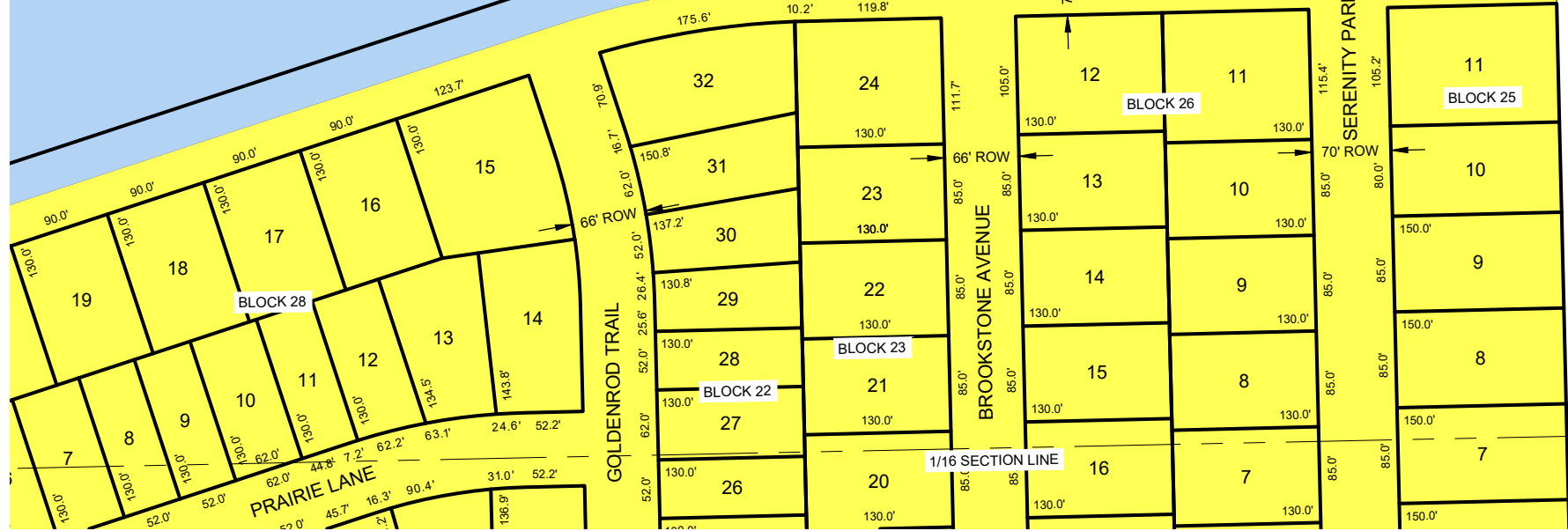
TRACT 5

TIMBERLINE PARKWAY

70' ROW

SERENITY PARKWAY

NE 1/4 SECTION 28, TOWNSHIP 100N, RANGE 50W



LEGEND	
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<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	GB - GENERAL BUSINESS
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	NR - NATURAL RESOURCE / PARK DEDICATION

NOTE:  
 ALL PARK, RECREATION AND DETENTION AREAS ARE INTENDED FOR PUBLIC USE

1. THERE SHALL BE A 10' UTILITY EASEMENT ADJACENT TO ALL ABUTTING PUBLIC STREET R.O.W.
2. THERE SHALL BE A 5' WIDE UTILITY EASEMENT ALONG ALL ABUTTING BACK / REAR SINGLE FAMILY PROPERTY LINES

ZONING	LOT WIDTH (FT)	MINIMUM REQUIRED SETBACKS		
		FRONT YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)
<b>R-2 LOW DENSITY RESIDENTIAL</b>				
SINGLE-FAMILY ATTACHED DWELING UNITS (ON NON PARTY WALL SIDE)	20	25	0	20
SINGLE-FAMILY DETACHED DWELING UNITS	65	25	7	20
<b>GB - GENERAL BUSINESS</b>				
ALL USES (LOT WIDTH 0 TO 50 FT)		15	5	5
ALL USES (LOT WIDTH 51 TO 100 FT)		20	5	5
ALL USES (LOT WIDTH 101 FT OR MORE)		25	5	5
<b>NR - NATURAL RESOURCE</b>	50	25	10	20

**ARTESSA ADDITION**  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD

**LAND USE & LOT LAYOUT**

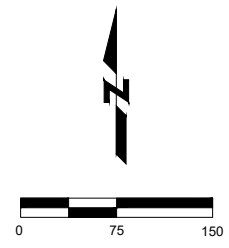
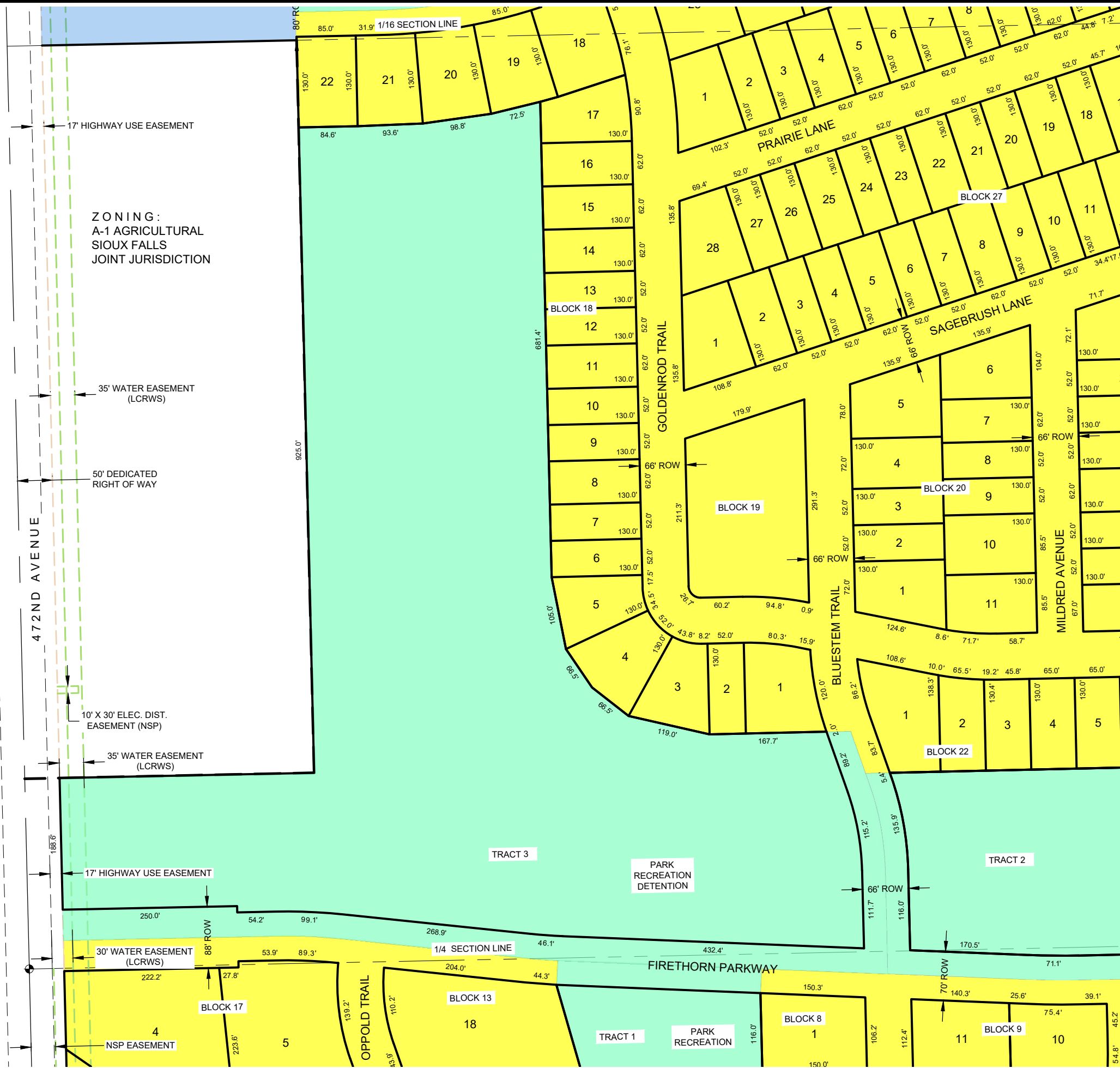
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 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_





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 PLOT DATE: 4/27/2024 8:49 AM - Andrew Burdette

S 1/2 NE 1/4  
 SECTION 29, TOWNSHIP 100N, RANGE 50 W



LEGEND	
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<span style="display: inline-block; width: 20px; height: 10px; background-color: lightblue; border: 1px solid black;"></span>	GB - GENERAL BUSINESS
<span style="display: inline-block; width: 20px; height: 10px; background-color: lightgreen; border: 1px solid black;"></span>	NR - NATURAL RESOURCE / PARK DEDICATION

NOTE:  
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ZONING	LOT WIDTH (FT)	MINIMUM REQUIRED SETBACKS		
		FRONT YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)
<b>R-2 LOW DENSITY RESIDENTIAL</b>				
SINGLE-FAMILY ATTACHED DWELLING UNITS (ON NON PARTY WALL SIDE)	20	25	0	20
SINGLE-FAMILY DETACHED DWELING UNITS	65	25	7	20
<b>GB - GENERAL BUSINESS</b>				
ALL USES (LOT WIDTH 0 TO 50 FT)		15	5	5
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ALL USES (LOT WIDTH 101 FT OR MORE)		25	5	5
<b>NR - NATURAL RESOURCE</b>	50	25	10	20

LAND USE & LOT LAYOUT

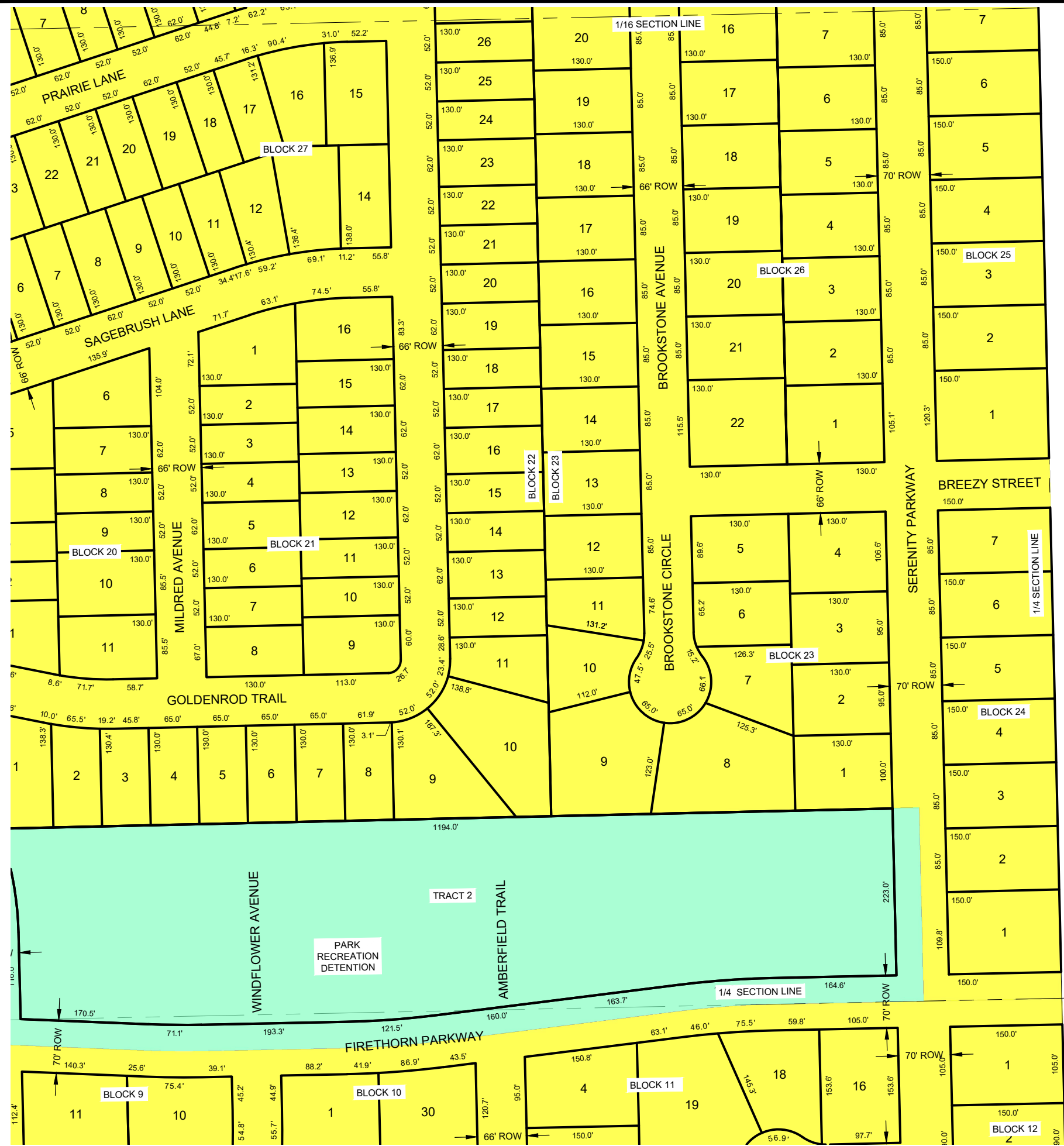
ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD

DESIGNED BY: JDC  
 DRAWN BY: JDC  
 CHECKED BY: JDC  
 REVISIONS:  
 BY: DATE: BY: DATE:

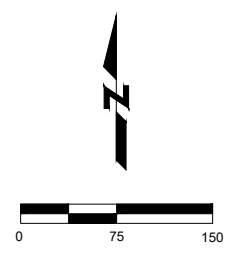


SHEET NO.  
**E.04**

5/10/2023 Project: 23090 - Artesa Development Design/CAD Sheets/Preliminary Subdivision Plan/23090\_Prelim\_Land\_Use\_Layout.dwg  
 PLOT DATE: 4/27/2023 8:39 AM Author: Burtch



NE 1/4  
 SECTION 28, TOWNSHIP 100N, RANGE 50W



**LEGEND**

	R2 - LOW DENSITY RESIDENTIAL
	GB - GENERAL BUSINESS
	NR - NATURAL RESOURCE / PARK DEDICATION

NOTE:  
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ZONING	LOT WIDTH (FT)	MINIMUM REQUIRED SETBACKS		
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<b>R-2 LOW DENSITY RESIDENTIAL</b>				
SINGLE-FAMILY ATTACHED DWELLING UNITS (ON NON PARTY WALL SIDE)	20	25	0	20
SINGLE-FAMILY DETACHED DWELING UNITS	65	25	7	20
<b>GB - GENERAL BUSINESS</b>				
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ALL USES (LOT WIDTH 101 FT OR MORE)		25	5	5
<b>NR - NATURAL RESOURCE</b>				
	50	25	10	20

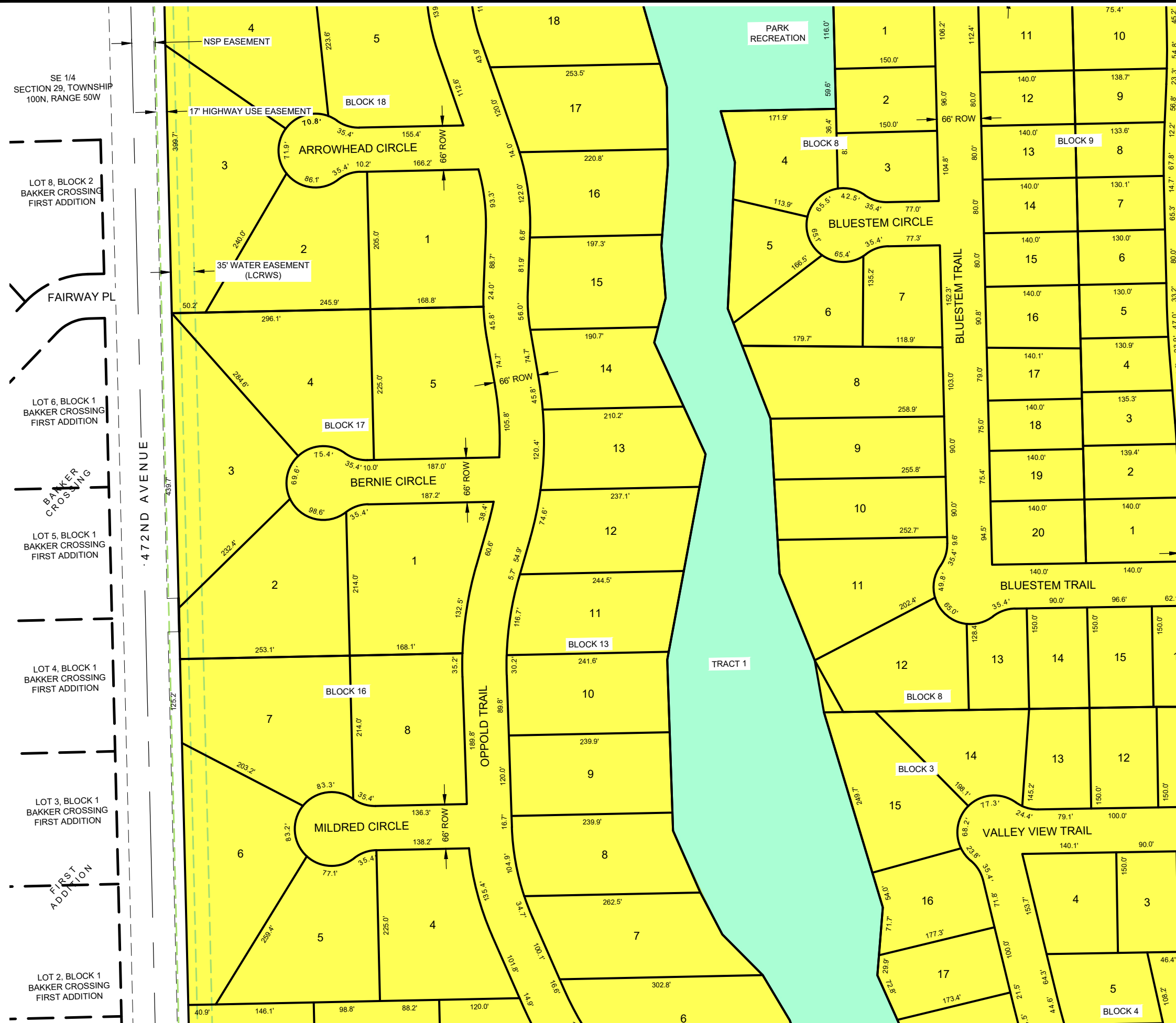
**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

**LAND USE & LOT LAYOUT**

DESIGNED BY: IDG  
 DRAWN BY: IDG  
 CHECKED BY: IDG  
 ACAD FILE: 23090\_Prelim\_Land\_Use\_Layout.dwg  
 DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_



5/10/2023 Project: 23090 - Artesa Development Design/CAD Sheets/Primary Subdivision Plan/23090\_Prelim\_Land\_Use\_Layout.dwg  
 PLOT DATE: 4/27/2023 8:19 AM Author: B. Burdette



SE 1/4 SECTION 29, TOWNSHIP 100N, RANGE 50W

LOT 8, BLOCK 2 BAKKER CROSSING FIRST ADDITION

FAIRWAY PL

LOT 6, BLOCK 1 BAKKER CROSSING FIRST ADDITION

BAKKER CROSSING

LOT 5, BLOCK 1 BAKKER CROSSING FIRST ADDITION

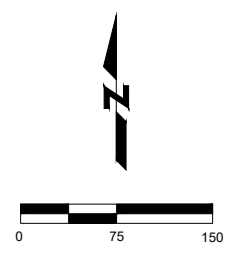
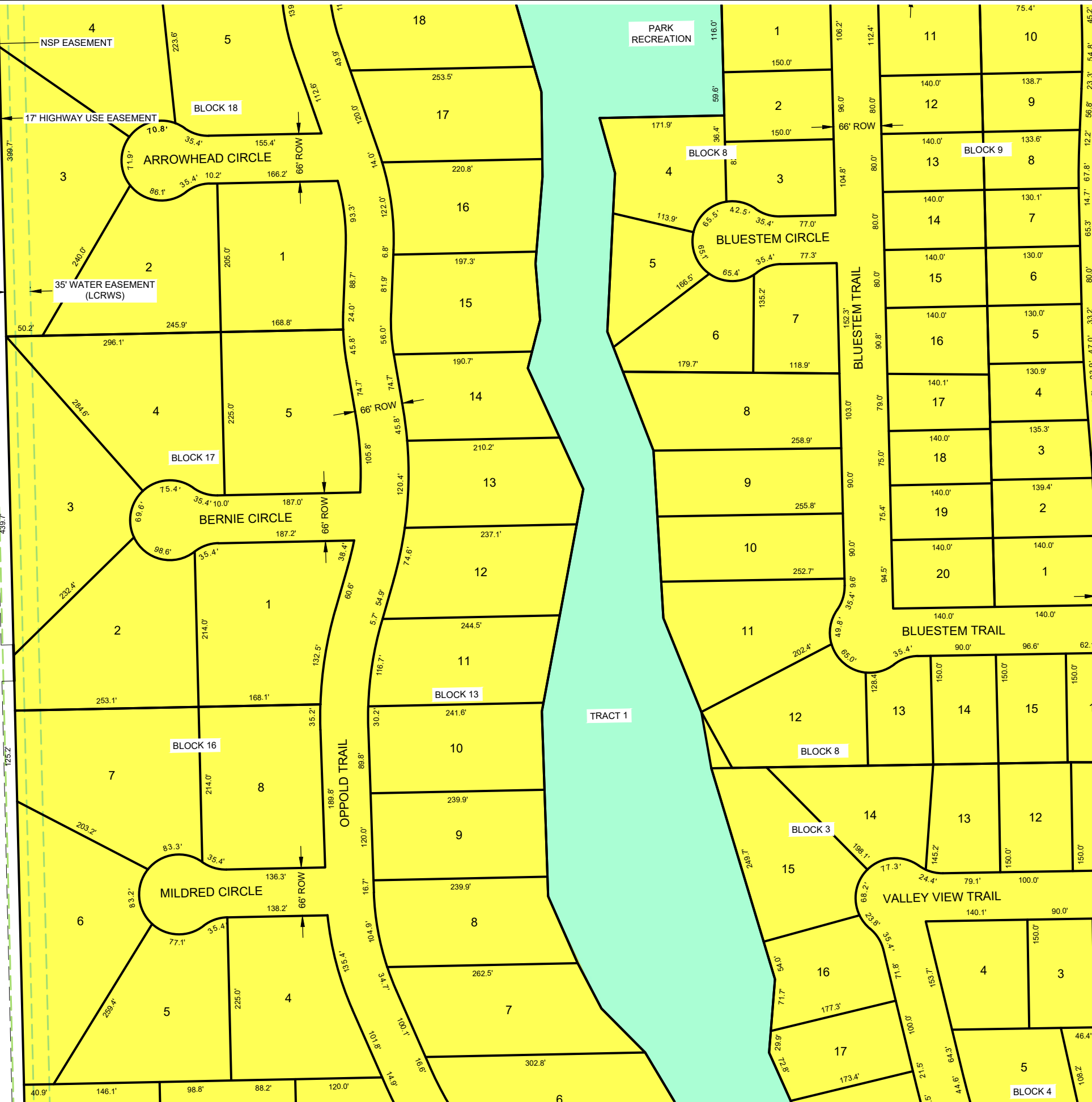
LOT 4, BLOCK 1 BAKKER CROSSING FIRST ADDITION

LOT 3, BLOCK 1 BAKKER CROSSING FIRST ADDITION

FIRST ADDITION

LOT 2, BLOCK 1 BAKKER CROSSING FIRST ADDITION

472ND AVENUE



LEGEND	
<span style="display: inline-block; width: 20px; height: 10px; background-color: yellow; border: 1px solid black;"></span>	R2 - LOW DENSITY RESIDENTIAL
<span style="display: inline-block; width: 20px; height: 10px; background-color: lightblue; border: 1px solid black;"></span>	GB - GENERAL BUSINESS
<span style="display: inline-block; width: 20px; height: 10px; background-color: lightgreen; border: 1px solid black;"></span>	NR - NATURAL RESOURCE / PARK DEDICATION

NOTE:  
 ALL PARK, RECREATION AND DETENTION AREAS ARE INTENDED FOR PUBLIC USE

- THERE SHALL BE A 10' UTILITY EASEMENT ADJACENT TO ALL ABUTTING PUBLIC STREET R.O.W.
- THERE SHALL BE A 5' WIDE UTILITY EASEMENT ALONG ALL ABUTTING BACK / REAR SINGLE FAMILY PROPERTY LINES

ZONING	LOT WIDTH (FT)	MINIMUM REQUIRED SETBACKS		
		FRONT YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)
<b>R-2 LOW DENSITY RESIDENTIAL</b>				
SINGLE-FAMILY ATTACHED DWELLING UNITS (ON NON PARTY WALL SIDE)	20	25	0	20
SINGLE-FAMILY DETACHED DWELING UNITS	65	25	7	20
<b>GB - GENERAL BUSINESS</b>				
ALL USES (LOT WIDTH 0 TO 50 FT)		15	5	5
ALL USES (LOT WIDTH 51 TO 100 FT)		20	5	5
ALL USES (LOT WIDTH 101 FT OR MORE)		25	5	5
<b>NR - NATURAL RESOURCE</b>	50	25	10	20

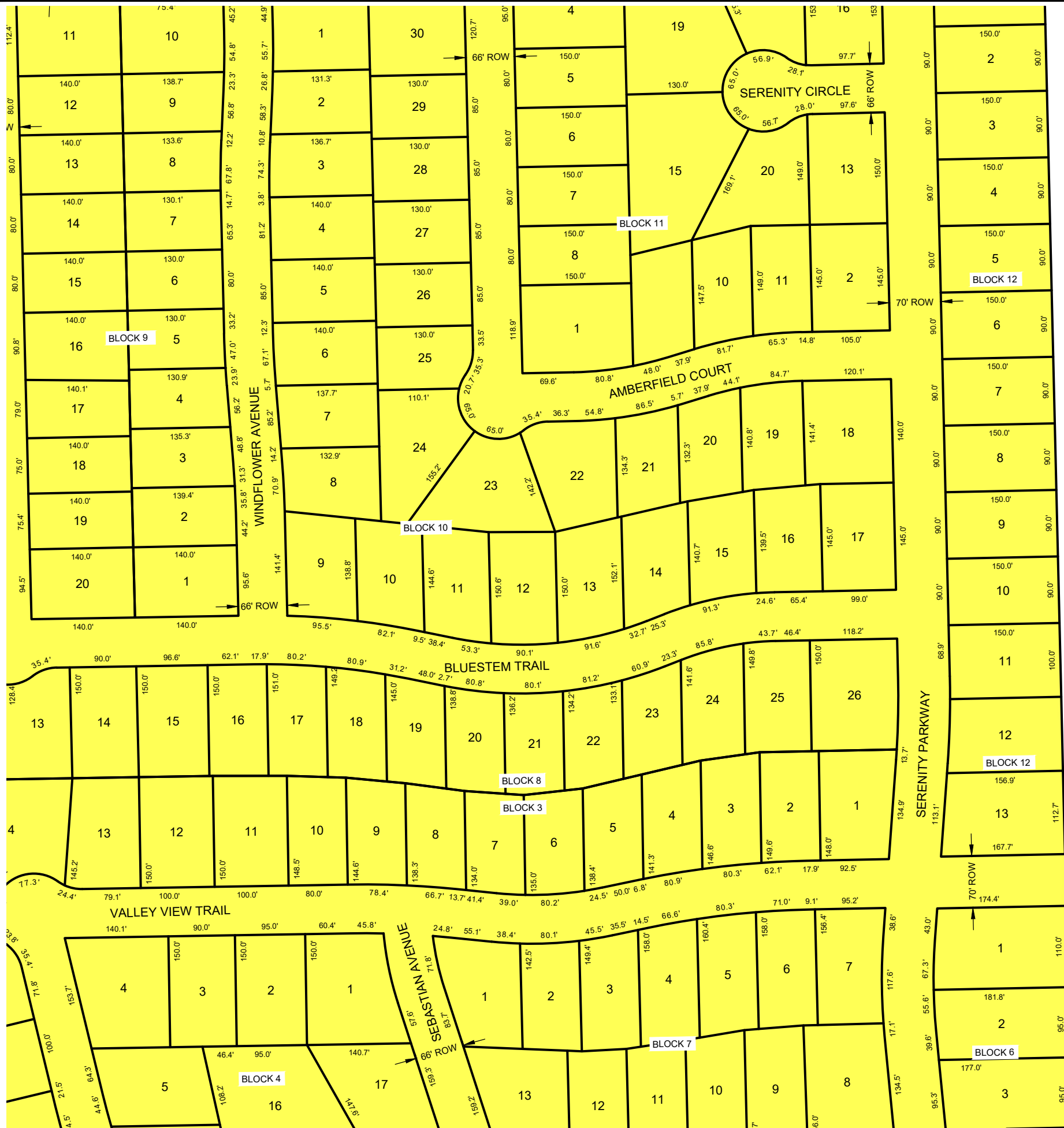
**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

**LAND USE & LOT LAYOUT**

DESIGNED BY: JDC  
 DRAWN BY: JDC  
 CHECKED BY: JDC  
 REVISIONS:  
 BY: DATE: BY: DATE:



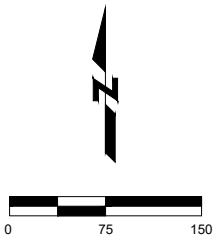
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 PLOT DATE: 4/2/2025 8:39 AM Andrina Buzdich



W 1/2 W 1/2 SW 1/4 SE 1/4  
 SECTION 28, TOWNSHIP 100N, RANGE 50W

1/4 SECTION LINE

SERENITY PARKWAY



LEGEND	
<span style="display: inline-block; width: 20px; height: 10px; background-color: yellow; border: 1px solid black;"></span>	R2 - LOW DENSITY RESIDENTIAL
<span style="display: inline-block; width: 20px; height: 10px; background-color: lightblue; border: 1px solid black;"></span>	GB - GENERAL BUSINESS
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ZONING	LOT WIDTH (FT)	MINIMUM REQUIRED SETBACKS		
		FRONT YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)
<b>R-2 LOW DENSITY RESIDENTIAL</b>				
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ALL USES (LOT WIDTH 101 FT OR MORE)		25	5	5
<b>NR - NATURAL RESOURCE</b>	50	25	10	20

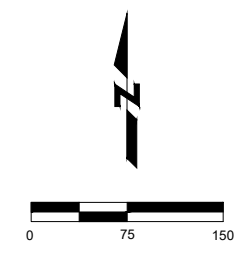
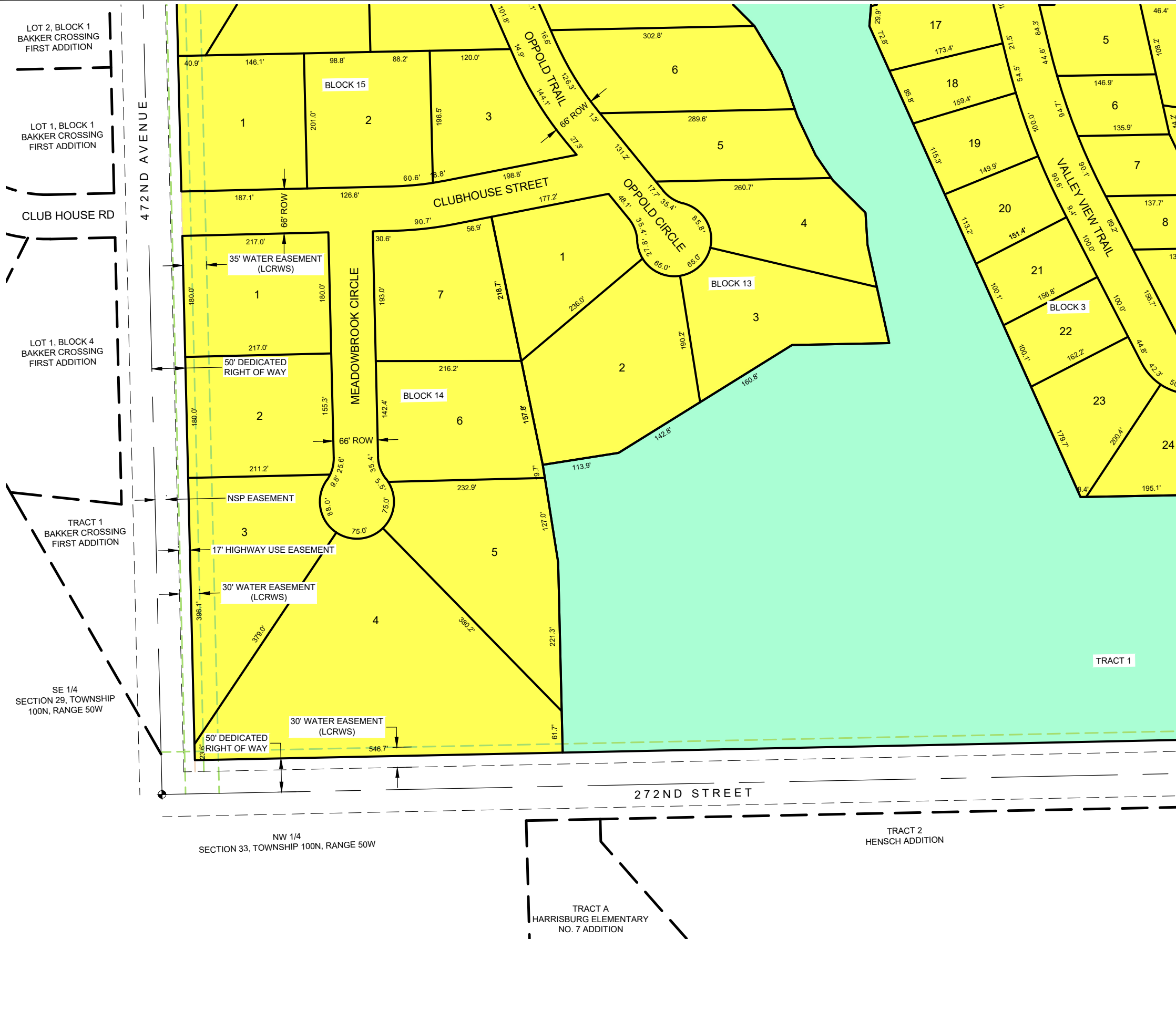
**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

**LAND USE & LOT LAYOUT**

DESIGNED BY: JDC  
 DRAWN BY: JDC  
 CHECKED BY: JDC  
 REVISIONS:  
 ACAD FILE: 23090\_Prelim\_Land\_Use\_Layout.dwg  
 DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_



S:\0-2023 Projects\23090 - Artesa Development\Design\CAD\Sheets\Primary Subdivision Plan\23090\_Prelim\_Land Use\_Layout.dwg  
 PLOT DATE: 4/22/2025 8:10 AM - Andromeda Burdette



**LEGEND**

	R2 - LOW DENSITY RESIDENTIAL
	GB - GENERAL BUSINESS
	NR - NATURAL RESOURCE / PARK DEDICATION

NOTE:  
 ALL PARK, RECREATION AND DETENTION AREAS ARE INTENDED FOR PUBLIC USE

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ALL USES (LOT WIDTH 101 FT OR MORE)		25	5	5
<b>NR - NATURAL RESOURCE</b>	50	25	10	20

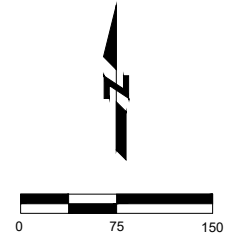
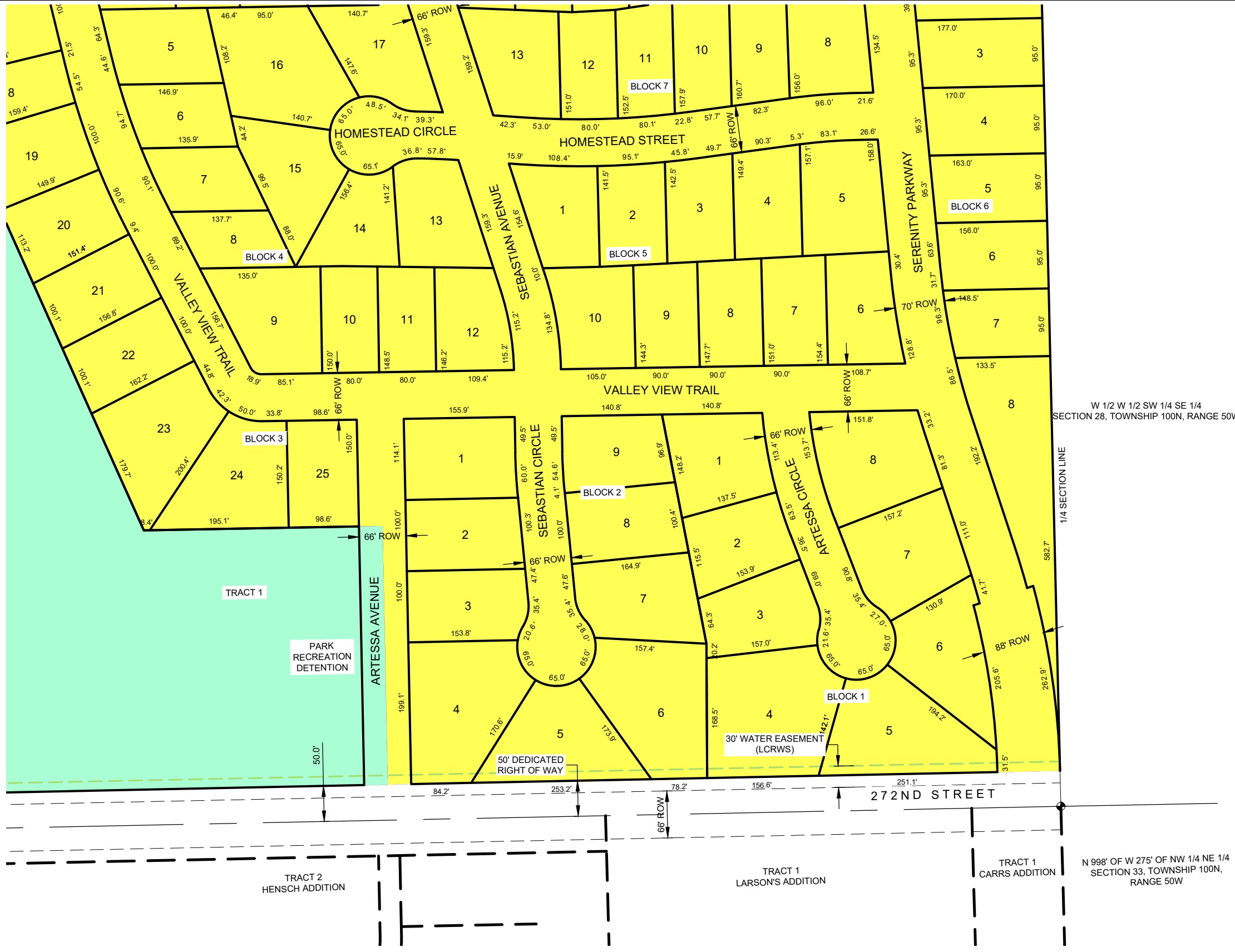
**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

**LAND USE & LOT LAYOUT**

DESIGNED BY: JDC  
 DRAWN BY: JDC  
 CHECKED BY: JDC  
 ACAD FILE: 23090\_Prelim\_Land Use\_Layout.dwg  
 DATE: \_\_\_\_\_  
 REVISIONS:  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_



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 PLOT DATE: 4/2/2024 8:19 AM Andromeda Burdette



LEGEND	
<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	R2 - LOW DENSITY RESIDENTIAL
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	GB - GENERAL BUSINESS
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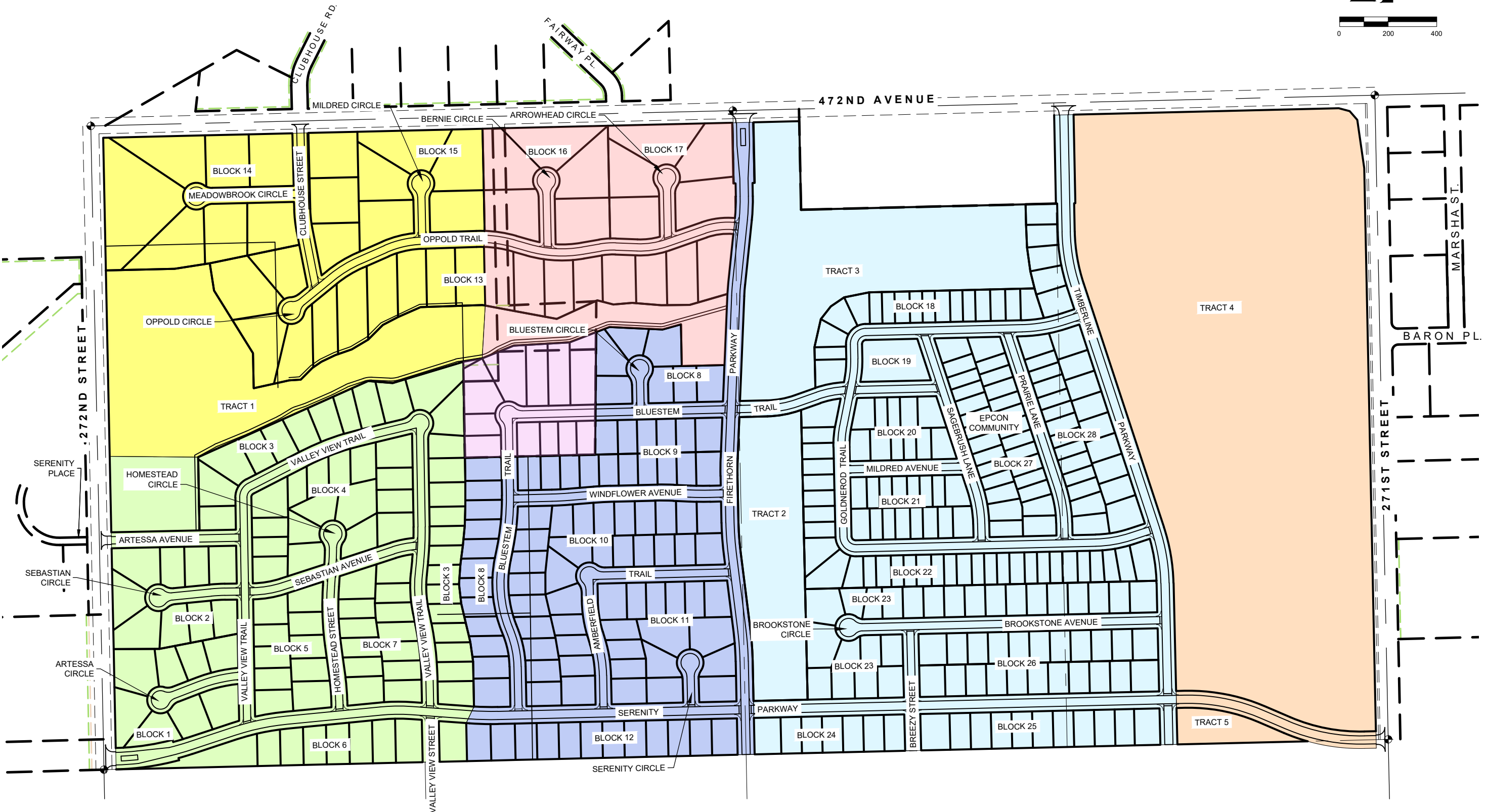
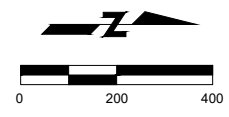
ZONING	LOT WIDTH (FT)	MINIMUM REQUIRED SETBACKS		
		FRONT YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)
<b>R-2 LOW DENSITY RESIDENTIAL</b>				
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<b>NR - NATURAL RESOURCE</b>	50	25	10	20

**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

**LAND USE & LOT LAYOUT**

DESIGNED BY: JDC  
 DRAWN BY: JDC  
 CHECKED BY: JDC  
 REVISIONS:  
 ACAD FILE: 23090\_Prelim\_Land\_Use\_Layout.dwg  
 DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_





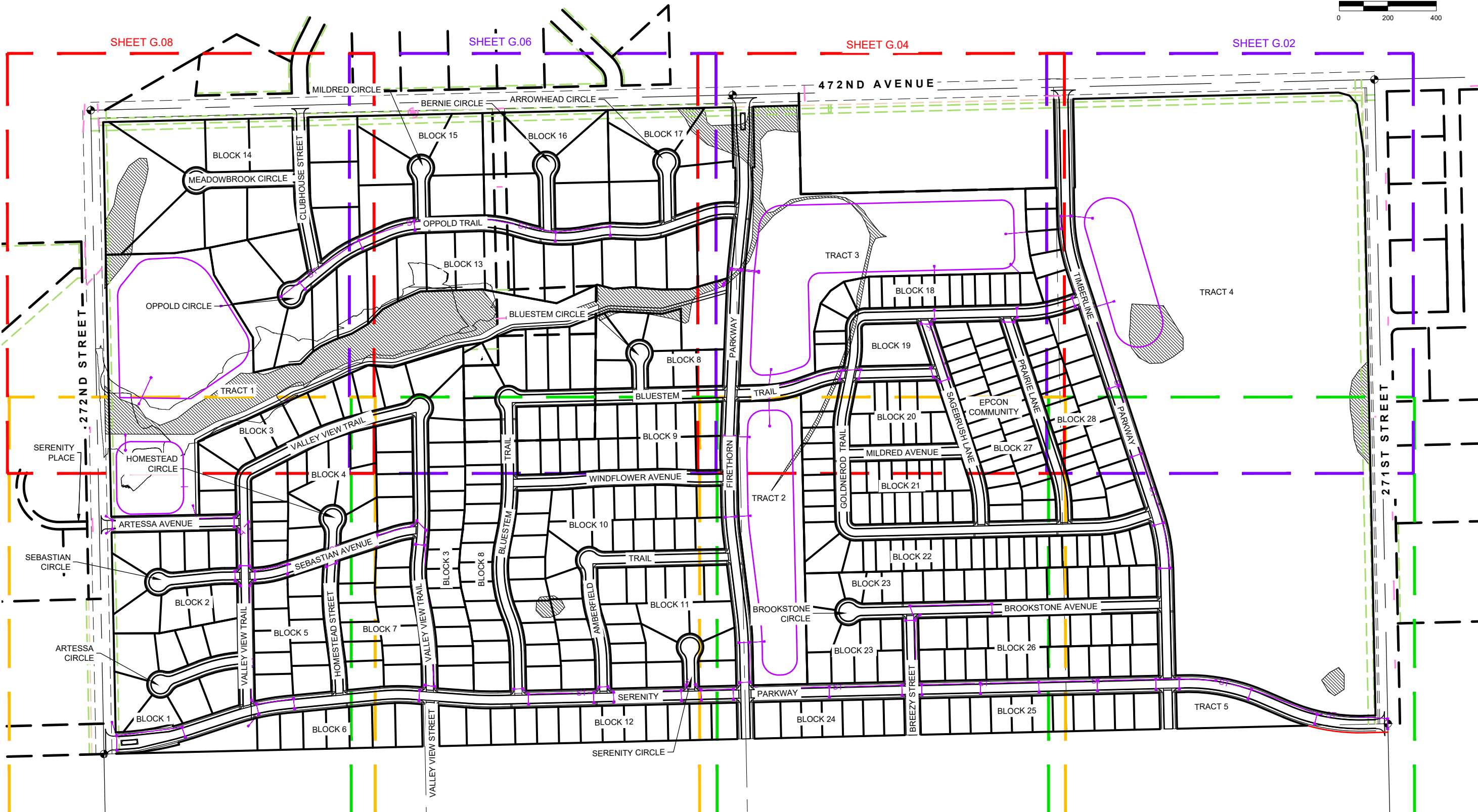
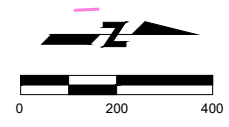
LEGEND					
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<span style="display:inline-block; width:15px; height:15px; background-color:#cfe2f3;"></span>	PHASE 2	<span style="display:inline-block; width:15px; height:15px; background-color:#f4cccc;"></span>	PHASE 5		
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 PLOT DATE: 4/27/2024 8:09 AM - Andrew Buzhuk

**ARTESSA ADDITION**  
**PRELIMINARY SUBDIVISION PLAN**  
**HARRISBURG, SD**

PHASING LAYOUT	
DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Phasing Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:





ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

DRAINAGE LAYOUT - SHEET ORIENTATION

DESIGNED BY: JDS  
DRAWN BY: JDS  
CHECKED BY: JDS  
ACAD FILE: 23090\_Prelim\_Drainage\_Layout.dwg  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

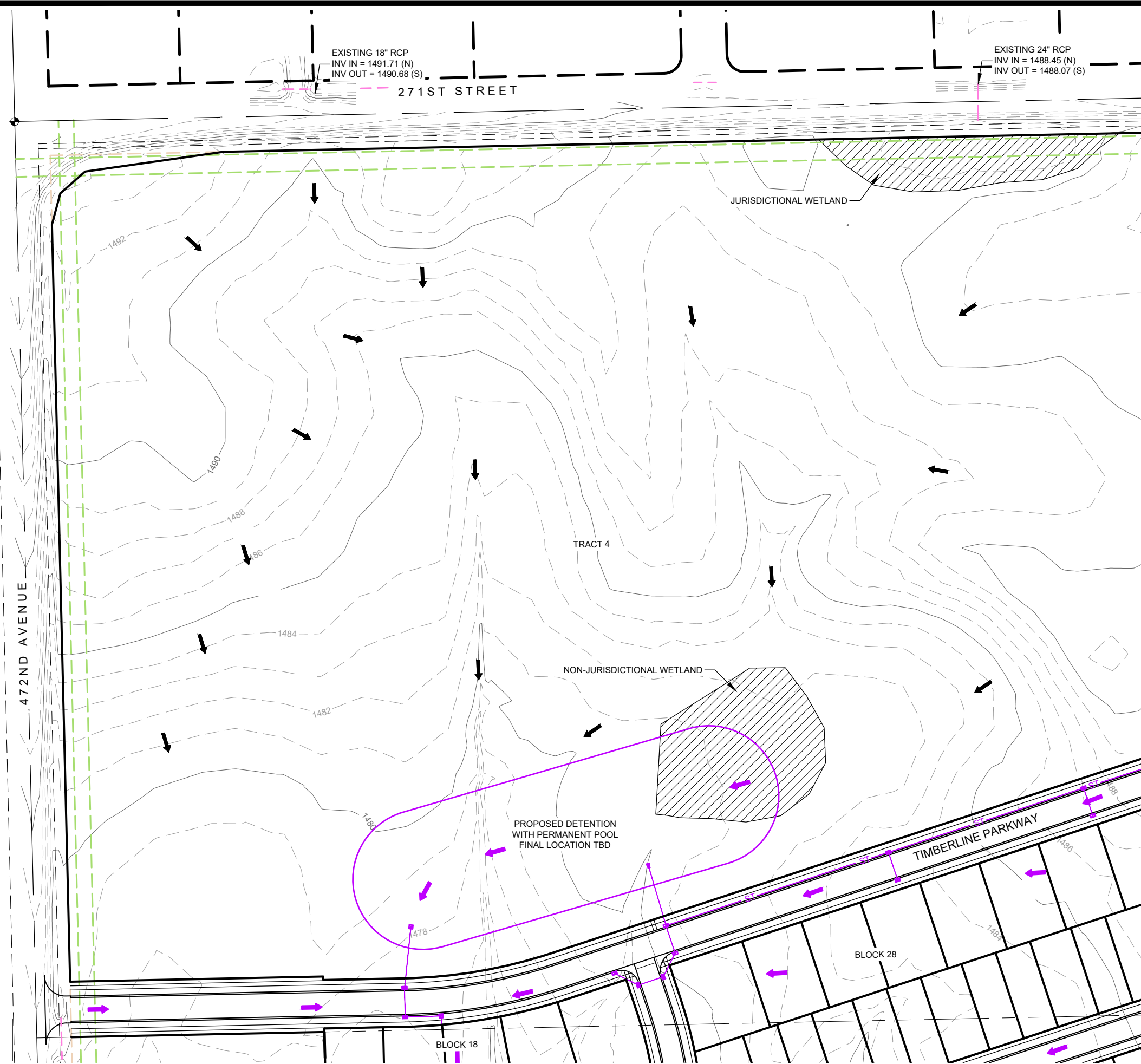


SHEET NO.  
**G.01**

S:\0-2023 Projects\23090 - Artesa Development\Design\CAD\Sheets\Prelim\Subdivision Plan\23090\_Prelim\_Drainage\_Layout.dwg  
PLOT DATE: 4/22/2024 8:09 AM Andrew Burdette



S:\0-2023-Projects\23090 - Artesia Development\Design\CAD\Sheets\Primary Subdivision Plan\23090\_Prelim\_Drainage\_Layout.dwg  
 PLOT DATE: 12/22/23 8:09 AM Andrew Burchette



EXISTING 18" RCP  
 INV IN = 1491.71 (N)  
 INV OUT = 1490.68 (S)

EXISTING 24" RCP  
 INV IN = 1488.45 (N)  
 INV OUT = 1488.07 (S)

271ST STREET

JURISDICTIONAL WETLAND

TRACT 4

NON-JURISDICTIONAL WETLAND

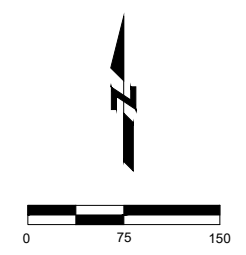
PROPOSED DETENTION  
 WITH PERMANENT POOL  
 FINAL LOCATION TBD

TIMBERLINE PARKWAY

BLOCK 28

BLOCK 18

472ND AVENUE



LEGEND	
	EXISTING CONTOURS
	EXISTING DIRECTION OF DRAINAGE
	EXISTING STORM SEWER PIPE
	PROPOSED DIRECTION OF DRAINAGE
	PROPOSED STORM STRUCTURE / INLET
	PROPOSED STORM SEWER PIPE

**NOTE:** SUMP PUMP COLLECTION SYSTEM TO BE INCLUDED WITH ALL SINGLE FAMILY LOTS AND SHOWN WITH ENGINEERING SUBMITTALS

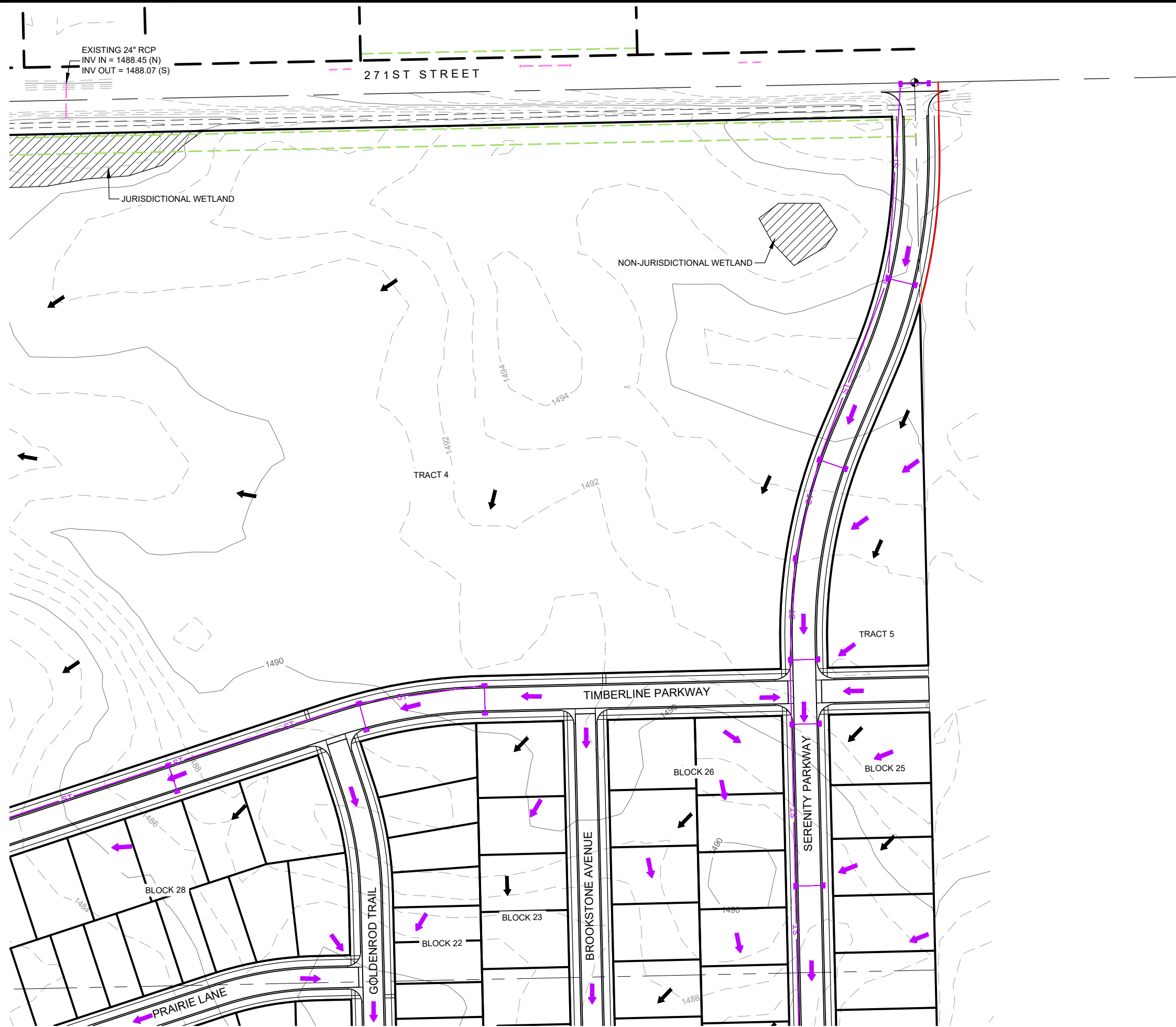
**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

**DRAINAGE LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Drainage_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



5/10/2023 Project: 23090 - Artesa Development Design/CAD Sheets/Primary Subdivision Plan/23090\_Prelim\_Drainage\_Layout.dwg  
PLOT DATE: 4/27/2023 8:09 AM Author: Buzhita



EXISTING 24" RCP  
INV IN = 1488.45 (N)  
INV OUT = 1488.07 (S)

271ST STREET

JURISDICTIONAL WETLAND

NON-JURISDICTIONAL WETLAND

TRACT 4

TRACT 5

TIMBERLINE PARKWAY

SERENITY PARKWAY

BROOKSTONE AVENUE

GOLDENROD TRAIL

BLOCK 28

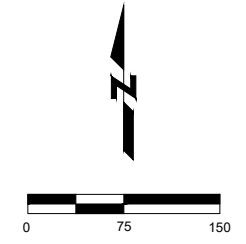
PRAIRIE LANE

BLOCK 22

BLOCK 23

BLOCK 26

BLOCK 25



**LEGEND**

- EXISTING CONTOURS
- EXISTING DIRECTION OF DRAINAGE
- EXISTING STORM SEWER PIPE
- PROPOSED DIRECTION OF DRAINAGE
- PROPOSED STORM STRUCTURE / INLET
- PROPOSED STORM SEWER PIPE

**NOTE:** SUMP PUMP COLLECTION SYSTEM TO BE INCLUDED WITH ALL SINGLE FAMILY LOTS AND SHOWN WITH ENGINEERING SUBMITTALS

**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

**DRAINAGE LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Drainage_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	BY:
REVISIONS:	DATE:



S:\0-2023 Projects\23090 - Artesia Development\Design\CAD\Sheets\Primary Subdivision Plan\23090\_Prelim\_Drainage\_Layout.dwg  
PLOT DATE: 4/27/2024 8:09 AM Andrew Burdette

472ND AVENUE

EXISTING 15" RCP  
INV IN = 1467.03 (N)  
INV OUT = 1466.03 (S)

EXISTING 36" RCP  
INV IN = 1465.30 (W)  
INV OUT = 1465.27 (E)

JURISDICTIONAL WETLAND

PROPOSED DETENTION  
WITH PERMANENT POOL

TRACT 3  
1468

TRACT 2

FIRETHORN PARKWAY

BLOCK 17

BLOCK 13

TRACT 1

BLOCK 8

BLOCK 9

BLOCK 18

BLOCK 19

BLOCK 20

BLOCK 22

BLOCK 27

1480 PRAIRIE LANE

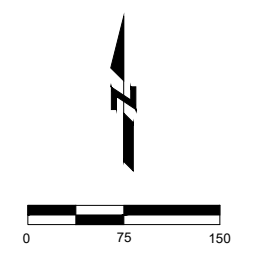
SAGEBRUSH LANE

GOLDENROD TRAIL

BLUESTEM TRAIL

MILDRED AVENUE

OPPOLD TRAIL



**LEGEND**

	EXISTING CONTOURS
	EXISTING DIRECTION OF DRAINAGE
	EXISTING STORM SEWER PIPE
	PROPOSED DIRECTION OF DRAINAGE
	PROPOSED STORM STRUCTURE / INLET
	PROPOSED STORM SEWER PIPE

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**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

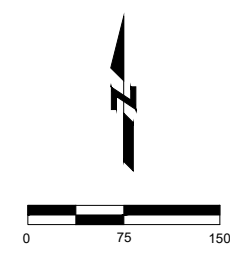
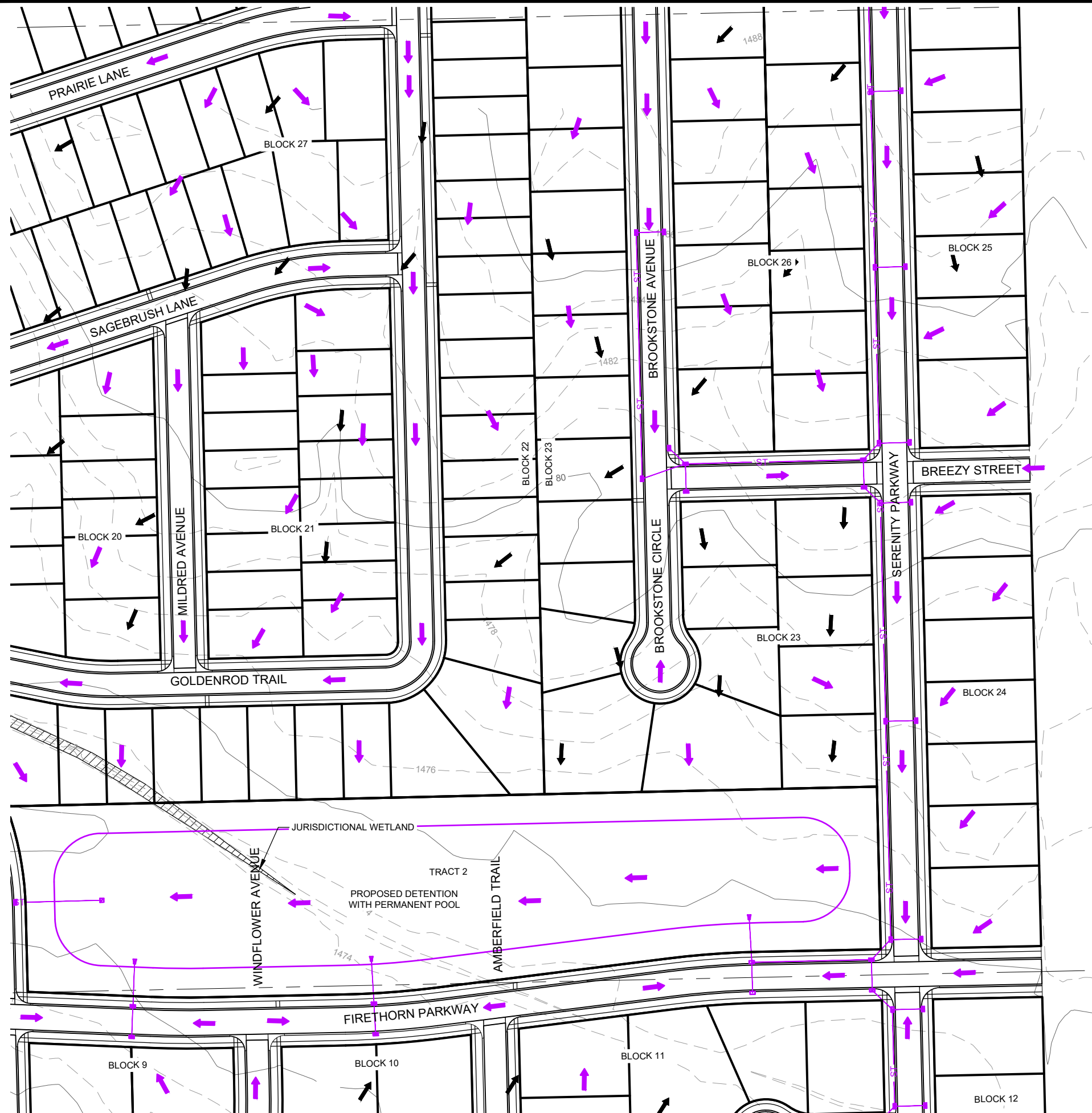
**DRAINAGE LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Drainage_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



SHEET NO.  
**G.04**

5/10/2023 Project: 23090 - Artesa Development Design/CAD Sheets/Primary Subdivision Plan/23090\_Prelim\_Drainage\_Layout.dwg  
SHEET DATE: 4/27/2023 8:10 AM Author: Buzuh



**LEGEND**

	EXISTING CONTOURS
	EXISTING DIRECTION OF DRAINAGE
	EXISTING STORM SEWER PIPE
	PROPOSED DIRECTION OF DRAINAGE
	PROPOSED STORM STRUCTURE / INLET
	PROPOSED STORM SEWER PIPE

**NOTE:** SUMP PUMP COLLECTION SYSTEM TO BE INCLUDED WITH ALL SINGLE FAMILY LOTS AND SHOWN WITH ENGINEERING SUBMITTALS

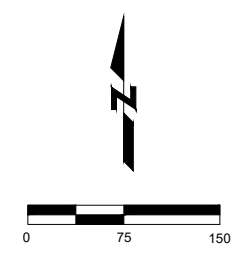
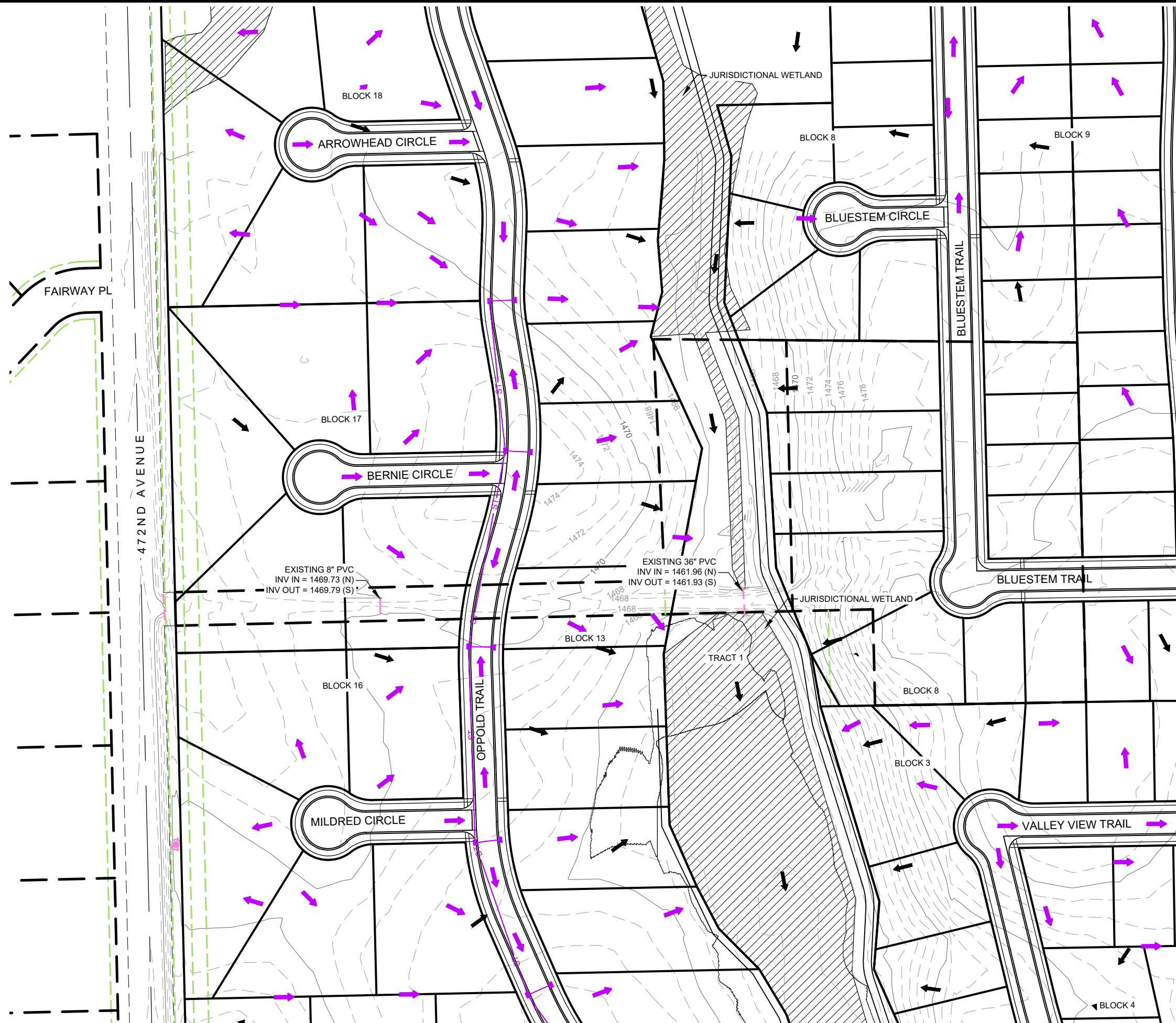
**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

**DRAINAGE LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Drainage_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	BY:
REVISIONS:	DATE:



5/10/2023 Project: 23090 - Artesa Development/Design/CAD/Sheets/Primary Subdivision Plan/23090\_Prelim\_Drainage\_Layout.dwg  
PLOT DATE: 4/27/2025 8:10 AM Andrew Burdette



LEGEND	
	EXISTING CONTOURS
	EXISTING DIRECTION OF DRAINAGE
	EXISTING STORM SEWER PIPE
	PROPOSED DIRECTION OF DRAINAGE
	PROPOSED STORM STRUCTURE / INLET
	PROPOSED STORM SEWER PIPE

NOTE: SUMP PUMP COLLECTION SYSTEM TO BE INCLUDED WITH ALL SINGLE FAMILY LOTS AND SHOWN WITH ENGINEERING SUBMITTALS

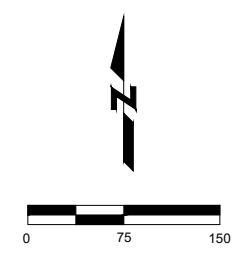
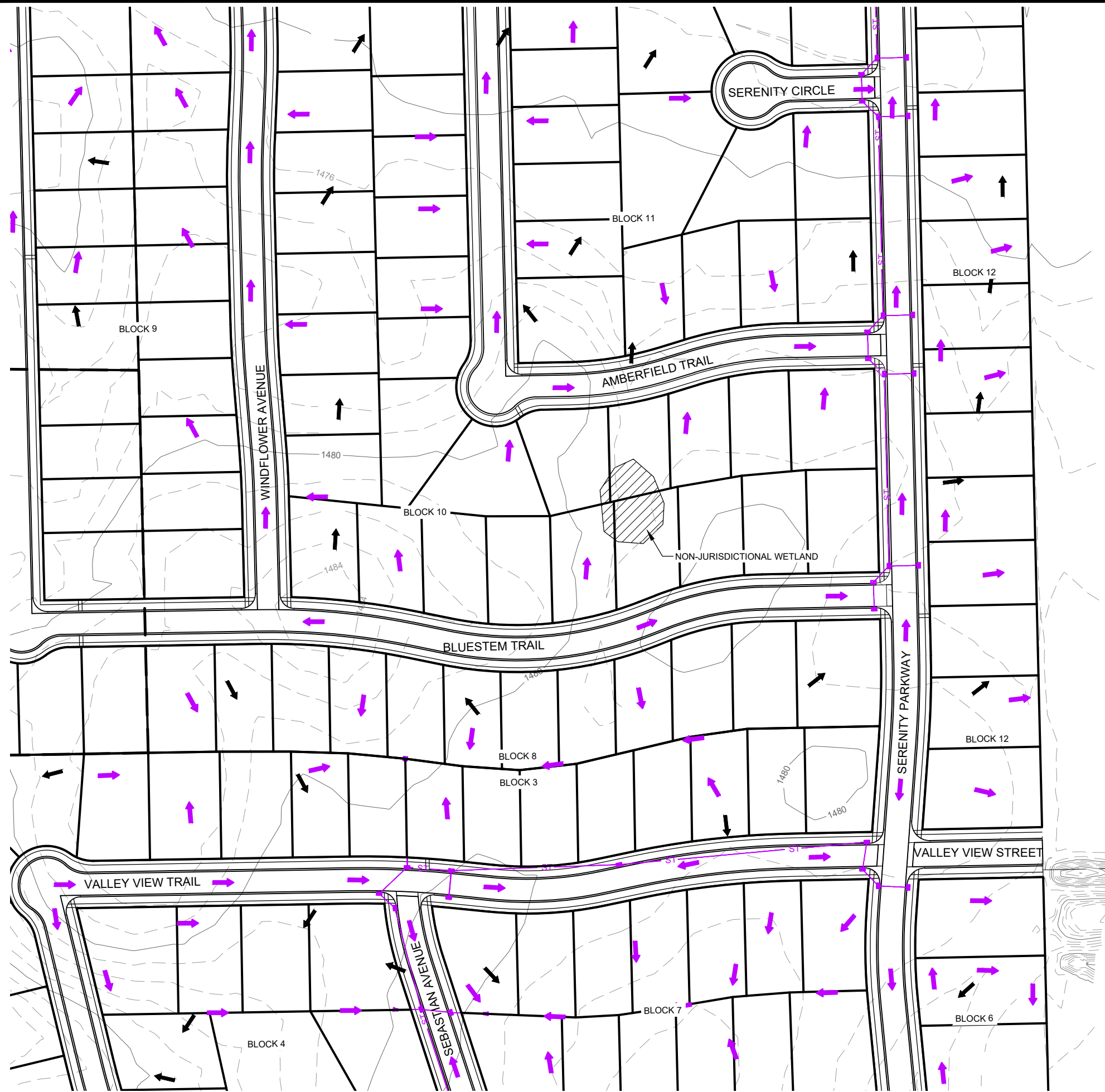
ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

DRAINAGE LAYOUT

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Drainage_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



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PLOT DATE: 4/27/2024 8:10 AM Andrew Buzhuk



**LEGEND**

	EXISTING CONTOURS
	EXISTING DIRECTION OF DRAINAGE
	EXISTING STORM SEWER PIPE
	PROPOSED DIRECTION OF DRAINAGE
	PROPOSED STORM STRUCTURE / INLET
	PROPOSED STORM SEWER PIPE

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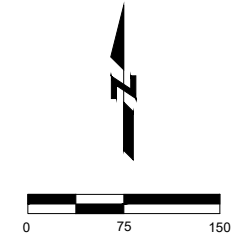
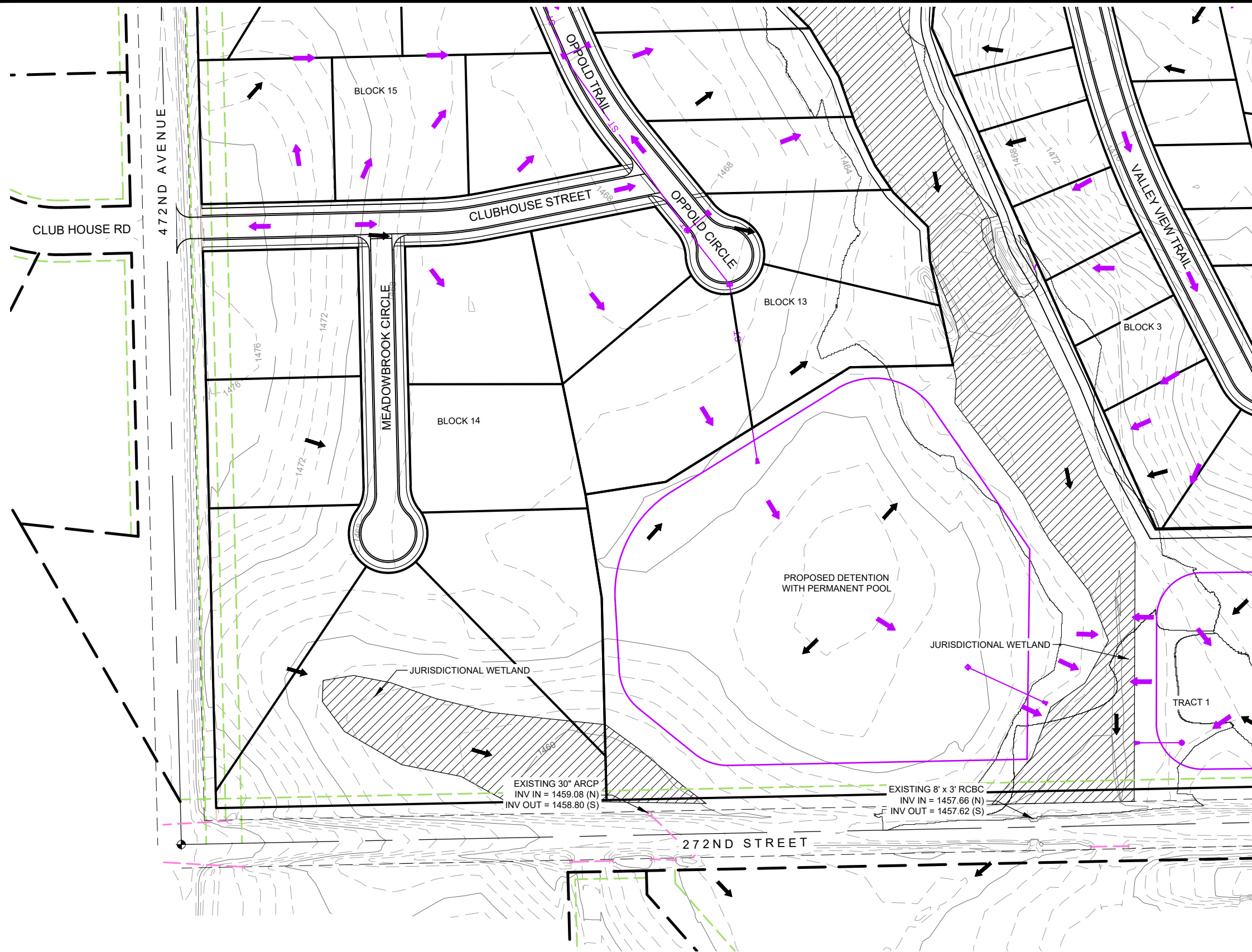
**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

**DRAINAGE LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Drainage_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



S:\0-2023 Projects\23090 - Artesia Development\Design\CAD\Sheets\Primary Subdivision Plan\23090\_Prelim\_Drainage\_Layout.dwg  
PLOT DATE: 4/27/2024 8:10 AM Andrew Burdette



**LEGEND**

	EXISTING CONTOURS
	EXISTING DIRECTION OF DRAINAGE
	EXISTING STORM SEWER PIPE
	PROPOSED DIRECTION OF DRAINAGE
	PROPOSED STORM STRUCTURE / INLET
	PROPOSED STORM SEWER PIPE

**NOTE:** SUMP PUMP COLLECTION SYSTEM TO BE INCLUDED WITH ALL SINGLE FAMILY LOTS AND SHOWN WITH ENGINEERING SUBMITTALS

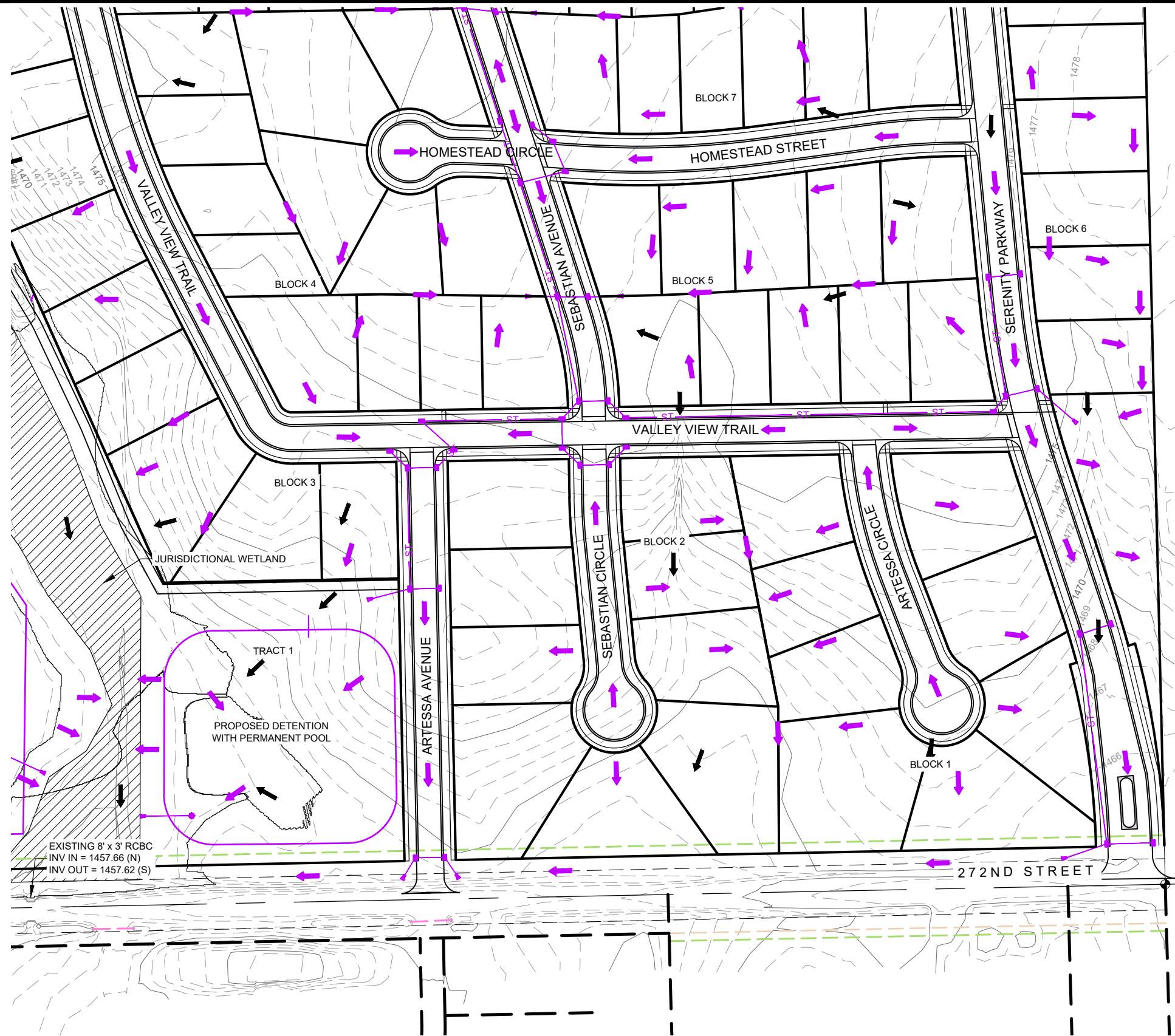
**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

**DRAINAGE LAYOUT**

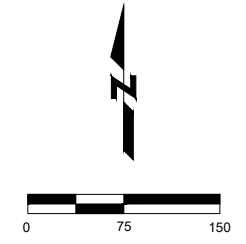
DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Drainage_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



S:\0-2023 Projects\23090 - Artesa Development\Design\CAD\Sheets\Primary Subdivision Plan\23090\_Prelim\_Drainage\_Layout.dwg  
 PLOT DATE: 4/27/2024 8:10 AM Andrew Burchette



EXISTING 8' x 3' RCBC  
 INV IN = 1457.66 (N)  
 INV OUT = 1457.62 (S)



LEGEND	
	EXISTING CONTOURS
	EXISTING DIRECTION OF DRAINAGE
	EXISTING STORM SEWER PIPE
	PROPOSED DIRECTION OF DRAINAGE
	PROPOSED STORM STRUCTURE / INLET
	PROPOSED STORM SEWER PIPE

**NOTE:** SUMP PUMP COLLECTION SYSTEM TO BE INCLUDED WITH ALL SINGLE FAMILY LOTS AND SHOWN WITH ENGINEERING SUBMITTALS

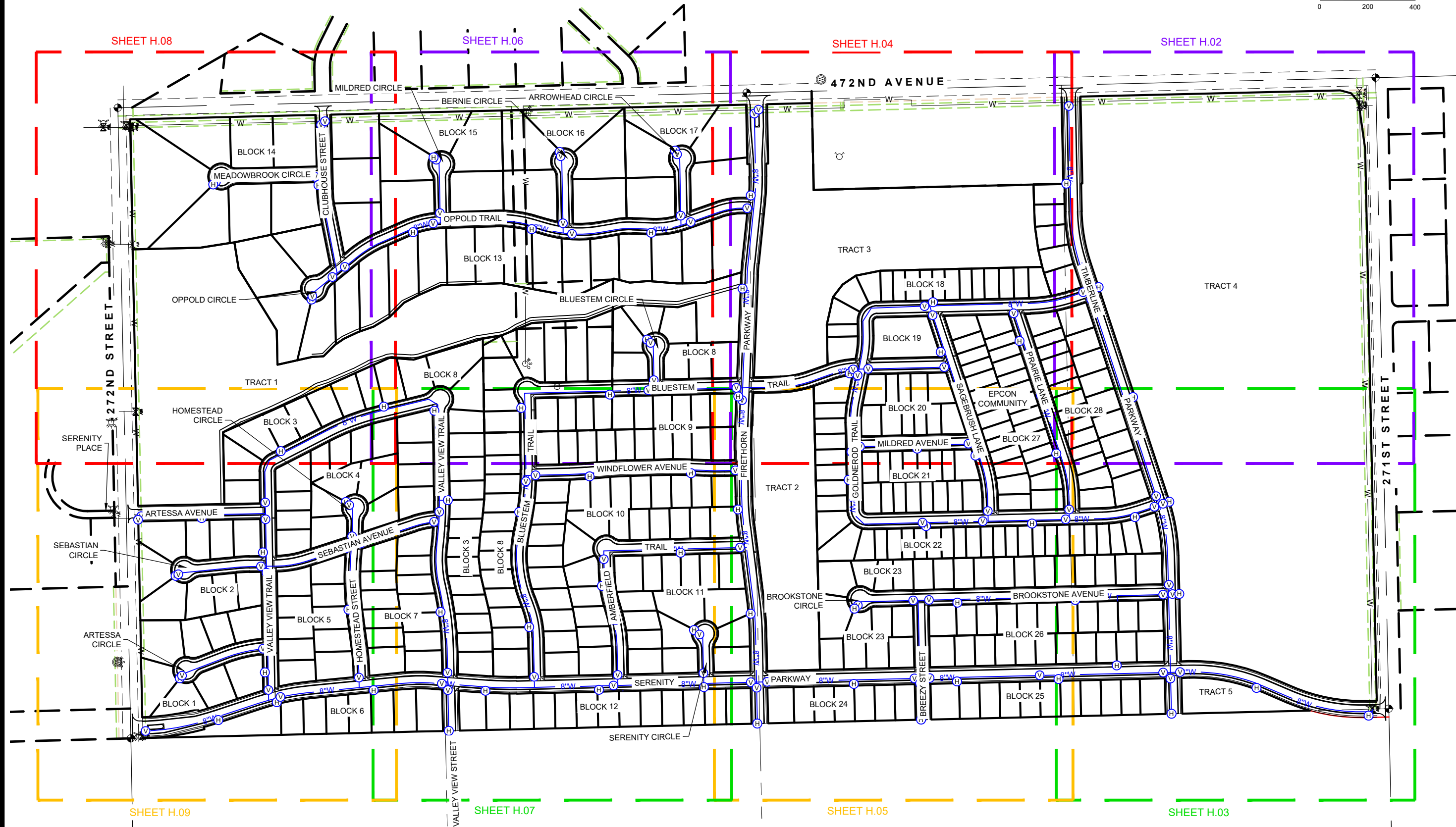
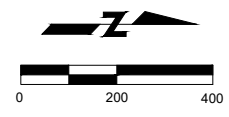
**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

**DRAINAGE LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Drainage_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	BY:
REVISIONS:	DATE:







ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

WATER LAYOUT - SHEET ORIENTATION

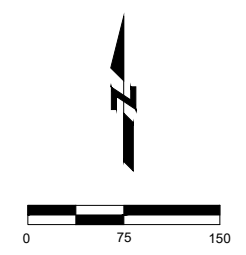
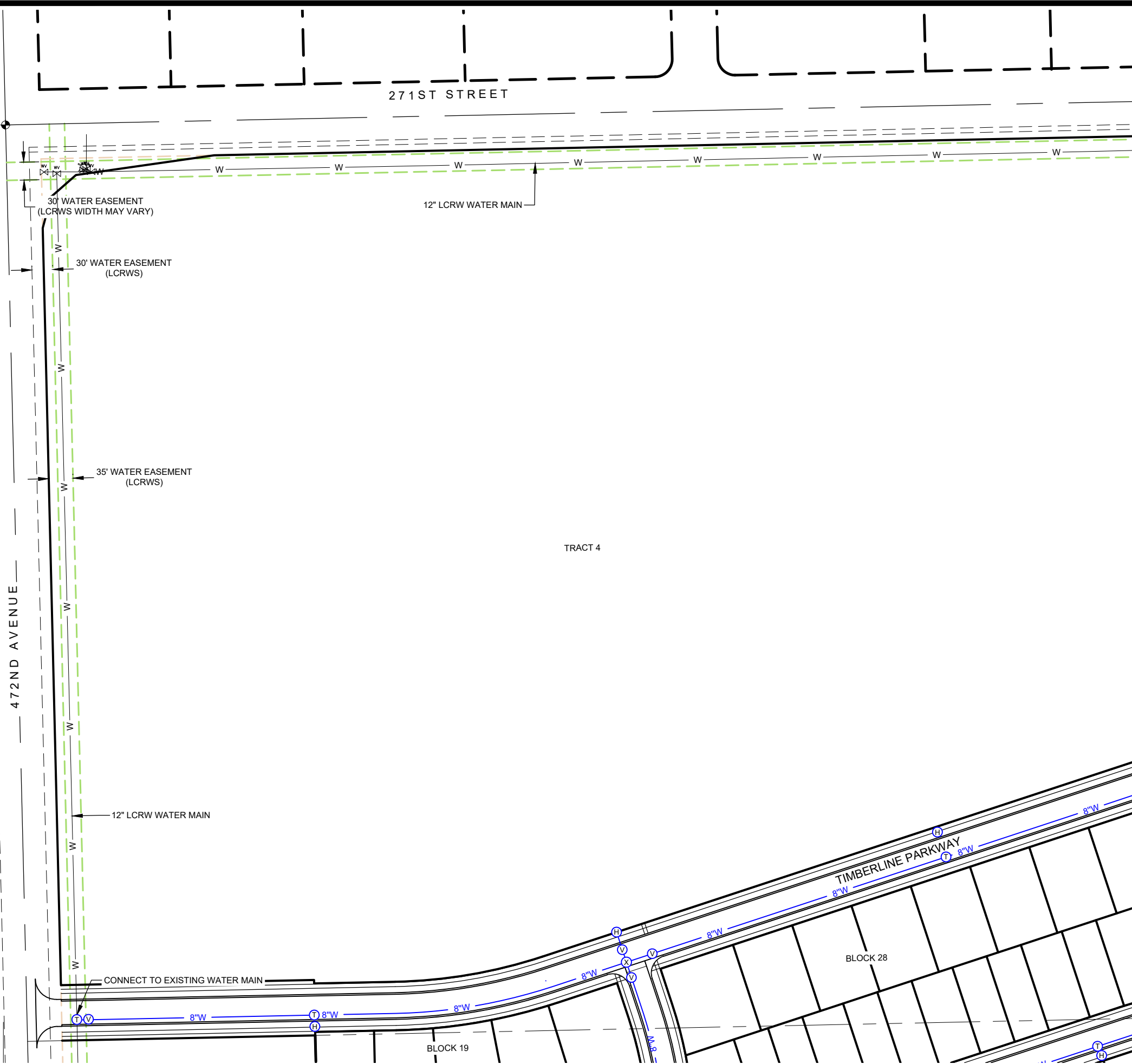
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DRAWN BY: IDG	DATE:
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BY:	DATE:
REVISIONS:	



SHEET NO.  
**H.01**

S:\0-2023 Projects\23090 - Artesa Development\Design\CAD\Sheets\Preliminary Subdivision Plan\23090\_Prelim\_Layout.dwg  
PLOT DATE: 4/22/2025 8:31 AM Andros Burdette

5/10/2023 Project: 23090 - Artesa Development Design/CAD Sheets/Preliminary Subdivision Plan/23090\_Prelim\_Utility\_Layout.dwg  
 PLOT DATE: 4/27/2023 8:10 AM Andrew Burdette



### LEGEND OF SYMBOLS

	8"W	EXISTING WATER MAIN & SIZE
	WV	EXISTING VALVE & BOX
		EXISTING FIRE HYDRANT
		EXISTING WATER SHUTOFF
	8"W	PROPOSED WATER MAIN & SIZE
		PROPOSED VALVE & BOX
		PROPOSED TEE
		PROPOSED CROSS
		PROPOSED REDUCER OR INCREASER
		PROPOSED SLEEVE
		PROPOSED FIRE HYDRANT
		PROPOSED 90° BEND
		PROPOSED 45° BEND
		PROPOSED 22 1/2° BEND
		PROPOSED 11 1/4° BEND
		PROPOSED M.J. CAP

NOTE:  
 1. PROPOSED WATERMAIN WILL BE OWNED AND OPERATED BY LINCOLN COUNTY RURAL WATER.  
 2. ALL LOTS SERVICED BY PROPOSED WATERMAIN WILL INCLUDE A METER PIT.

**ARTESSA ADDITION**  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD

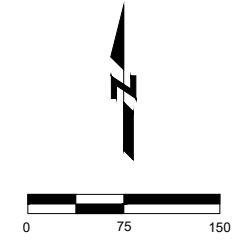
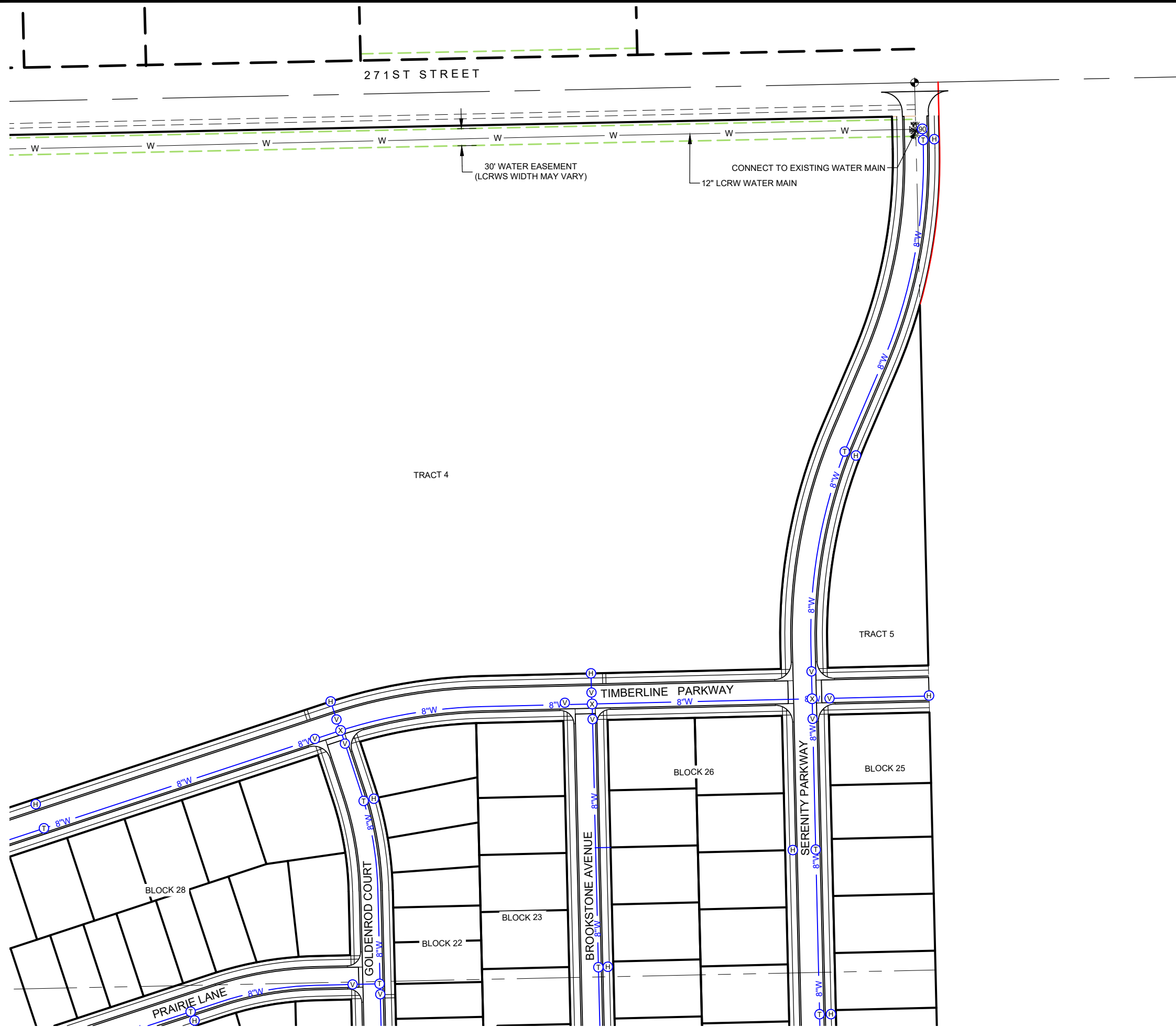
**WATER LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	BY: DATE:
REVISIONS:	BY: DATE:



SHEET NO.  
**H.02**

5/10/2023 Project: 23090 - Artesa Development Design/CAD Sheets/Primary Subdivision Plan/23090\_Prim\_Utility\_Layout.dwg  
 PLOT DATE: 4/27/2023 8:10 AM Andrew Burchette



### LEGEND OF SYMBOLS

	EXISTING WATER MAIN & SIZE
	EXISTING VALVE & BOX
	EXISTING FIRE HYDRANT
	EXISTING WATER SHUTOFF
	PROPOSED WATER MAIN & SIZE
	PROPOSED VALVE & BOX
	PROPOSED TEE
	PROPOSED CROSS
	PROPOSED REDUCER OR INCREASER
	PROPOSED SLEEVE
	PROPOSED FIRE HYDRANT
	PROPOSED 90° BEND
	PROPOSED 45° BEND
	PROPOSED 22 1/2° BEND
	PROPOSED 11 1/4° BEND
	PROPOSED M.J. CAP

NOTE:  
 1. PROPOSED WATERMAIN WILL BE OWNED AND OPERATED BY LINCOLN COUNTY RURAL WATER.  
 2. ALL LOTS SERVICED BY PROPOSED WATERMAIN WILL INCLUDE A METER PIT.

**ARTESSA ADDITION**  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD

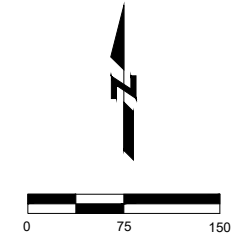
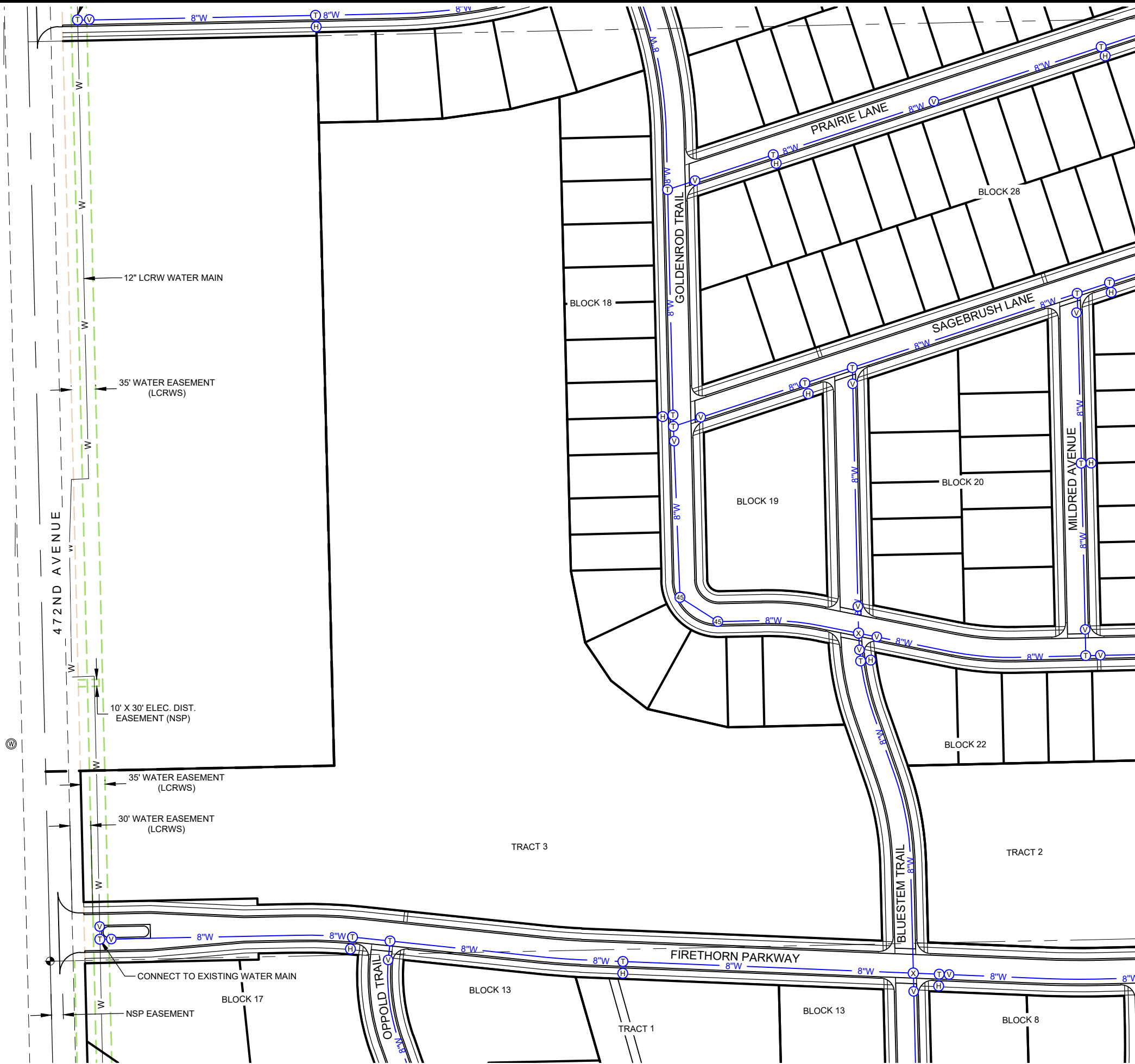
**WATER LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prim_Utility_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	BY:
REVISIONS:	DATE:



SHEET NO.  
**H.03**

S:\0-2023 Projects\23090 - Artesa Development\Design\CAD\Sheets\Primary Subdivision Plan\23090\_Prelim\_Utility\_Layout.dwg  
 PLOT DATE: 4/27/2025 8:33 AM Autodesk® AutoCAD



### LEGEND OF SYMBOLS

	EXISTING WATER MAIN & SIZE
	EXISTING VALVE & BOX
	EXISTING FIRE HYDRANT
	EXISTING WATER SHUTOFF
	PROPOSED WATER MAIN & SIZE
	PROPOSED VALVE & BOX
	PROPOSED TEE
	PROPOSED CROSS
	PROPOSED REDUCER OR INCREASER
	PROPOSED SLEEVE
	PROPOSED FIRE HYDRANT
	PROPOSED 90° BEND
	PROPOSED 45° BEND
	PROPOSED 22 1/2° BEND
	PROPOSED 11 1/4° BEND
	PROPOSED M.J. CAP

NOTE:  
 1. PROPOSED WATERMAIN WILL BE OWNED AND OPERATED BY LINCOLN COUNTY RURAL WATER.  
 2. ALL LOTS SERVICED BY PROPOSED WATERMAIN WILL INCLUDE A METER PIT.

**ARTESSA ADDITION**  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD

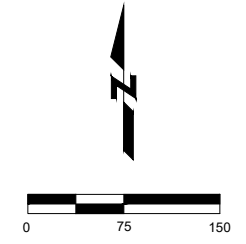
**WATER LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
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CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



SHEET NO.  
**H.04**

S:\0-2023 Projects\23090 - Artesa Development\Design\CAD\Sheets\Primary Subdivision Plan\23090\_Prelim\_Utility\_Layout.dwg  
 PLOT DATE: 4/27/2024 8:11 AM Andrew Burdette



### LEGEND OF SYMBOLS

	8"W	EXISTING WATER MAIN & SIZE
	V	EXISTING VALVE & BOX
	H	EXISTING FIRE HYDRANT
	S	EXISTING WATER SHUTOFF
	8"W	PROPOSED WATER MAIN & SIZE
	V	PROPOSED VALVE & BOX
	T	PROPOSED TEE
	X	PROPOSED CROSS
	R	PROPOSED REDUCER OR INCREASER
	S	PROPOSED SLEEVE
	H	PROPOSED FIRE HYDRANT
	90	PROPOSED 90° BEND
	45	PROPOSED 45° BEND
	22	PROPOSED 22 1/2° BEND
	11	PROPOSED 11 1/4° BEND
	C	PROPOSED M.J. CAP

NOTE:  
 1. PROPOSED WATERMAIN WILL BE OWNED AND OPERATED BY LINCOLN COUNTY RURAL WATER.  
 2. ALL LOTS SERVICED BY PROPOSED WATERMAIN WILL INCLUDE A METER PIT.

**ARTESSA ADDITION**  
**PRELIMINARY SUBDIVISION PLAN**  
**HARRISBURG, SD**

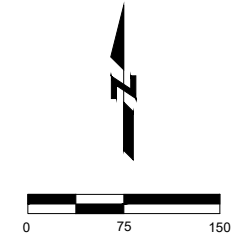
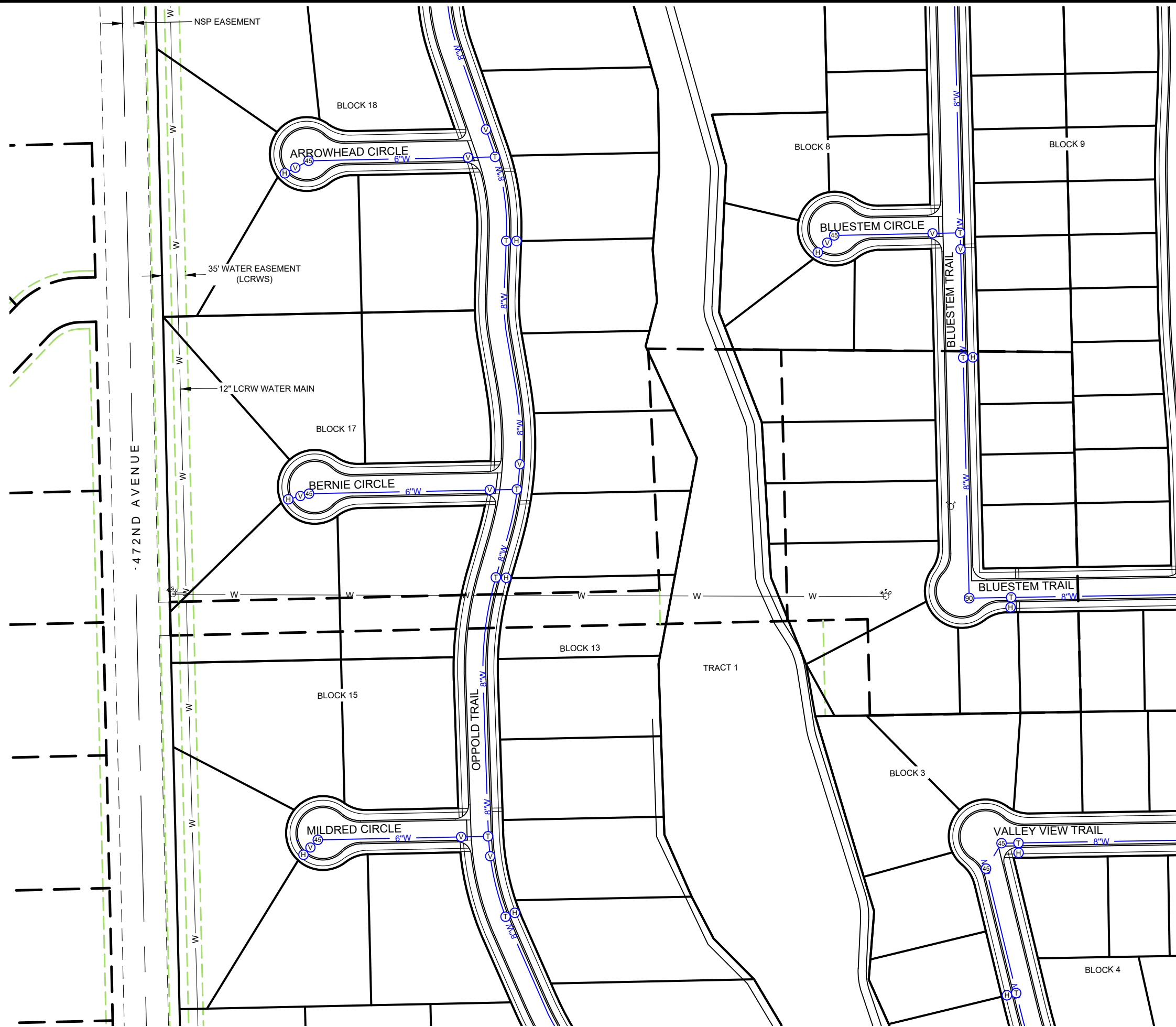
**WATER LAYOUT**

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DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



SHEET NO.  
**H.05**

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 PLOT DATE: 4/27/2024 8:11 AM Andrew Burchette



### LEGEND OF SYMBOLS

	8"W	EXISTING WATER MAIN & SIZE
	WV	EXISTING VALVE & BOX
		EXISTING FIRE HYDRANT
		EXISTING WATER SHUTOFF
	8"W	PROPOSED WATER MAIN & SIZE
	V	PROPOSED VALVE & BOX
	T	PROPOSED TEE
	X	PROPOSED CROSS
	R	PROPOSED REDUCER OR INCREASER
	S	PROPOSED SLEEVE
	H	PROPOSED FIRE HYDRANT
	90	PROPOSED 90° BEND
	45	PROPOSED 45° BEND
	22	PROPOSED 22 1/2° BEND
	11	PROPOSED 11 1/4° BEND
	C	PROPOSED M.J. CAP

NOTE:  
 1. PROPOSED WATERMAIN WILL BE OWNED AND OPERATED BY LINCOLN COUNTY RURAL WATER.  
 2. ALL LOTS SERVICED BY PROPOSED WATERMAIN WILL INCLUDE A METER PIT.

**ARTESSA ADDITION**  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD

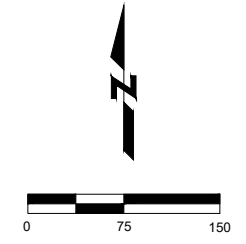
**WATER LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:

**infrastructure**  
 design group, inc.

SHEET NO.  
**H.06**

5/10/2023 Project: 23090 - Artesa Development Design/CAD Sheets/Primary Subdivision Plan/23090\_Prim\_Utility\_Layout.dwg  
 PLOT DATE: 4/27/2025 8:38 AM Autodesk



### LEGEND OF SYMBOLS

	EXISTING WATER MAIN & SIZE
	EXISTING VALVE & BOX
	EXISTING FIRE HYDRANT
	EXISTING WATER SHUTOFF
	PROPOSED WATER MAIN & SIZE
	PROPOSED VALVE & BOX
	PROPOSED TEE
	PROPOSED CROSS
	PROPOSED REDUCER OR INCREASER
	PROPOSED SLEEVE
	PROPOSED FIRE HYDRANT
	PROPOSED 90° BEND
	PROPOSED 45° BEND
	PROPOSED 22 1/2° BEND
	PROPOSED 11 1/4° BEND
	PROPOSED M.J. CAP

NOTE:  
 1. PROPOSED WATERMAIN WILL BE OWNED AND OPERATED BY LINCOLN COUNTY RURAL WATER.  
 2. ALL LOTS SERVICED BY PROPOSED WATERMAIN WILL INCLUDE A METER PIT.

**ARTESSA ADDITION**  
**PRELIMINARY SUBDIVISION PLAN**  
**HARRISBURG, SD**

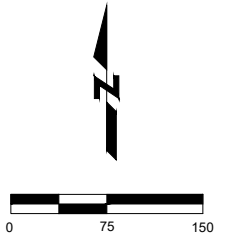
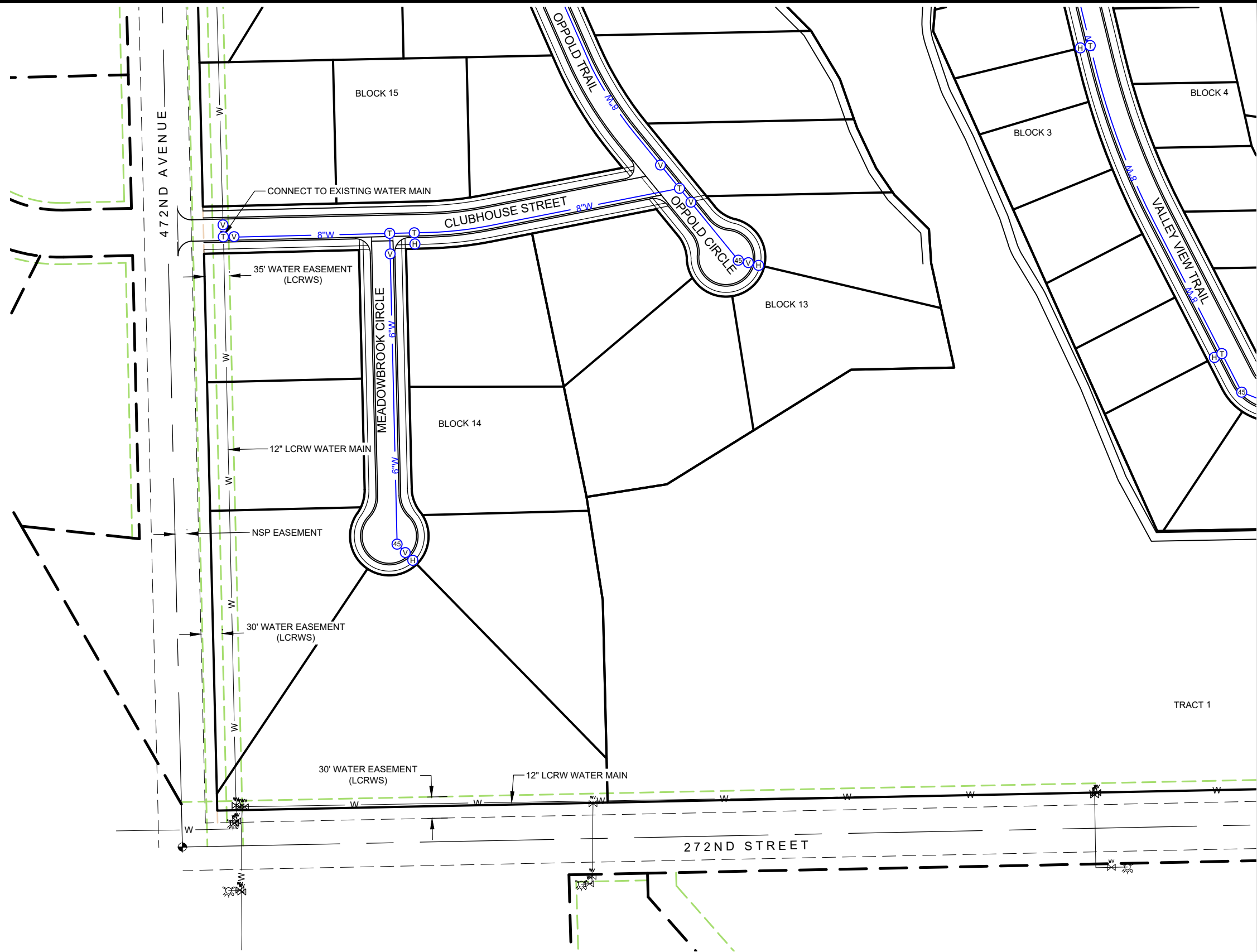
**WATER LAYOUT**

DESIGNED BY: IDG  
 DRAWN BY: IDG  
 CHECKED BY: IDG  
 REVISIONS:



SHEET NO.  
**H.07**

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 PLOT DATE: 4/22/2025 8:11 AM Autodesk AutoCAD



### LEGEND OF SYMBOLS

	8"W	EXISTING WATER MAIN & SIZE
	WV	EXISTING VALVE & BOX
		EXISTING FIRE HYDRANT
		EXISTING WATER SHUTOFF
	8"W	PROPOSED WATER MAIN & SIZE
	V	PROPOSED VALVE & BOX
	T	PROPOSED TEE
	X	PROPOSED CROSS
	R	PROPOSED REDUCER OR INCREASER
	S	PROPOSED SLEEVE
	H	PROPOSED FIRE HYDRANT
	90	PROPOSED 90° BEND
	45	PROPOSED 45° BEND
	22	PROPOSED 22 1/2° BEND
	11	PROPOSED 11 1/4° BEND
	C	PROPOSED M.J. CAP

NOTE:  
 1. PROPOSED WATERMAIN WILL BE OWNED AND OPERATED BY LINCOLN COUNTY RURAL WATER.  
 2. ALL LOTS SERVICED BY PROPOSED WATERMAIN WILL INCLUDE A METER PIT.

**ARTESSA ADDITION**  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD

**WATER LAYOUT**

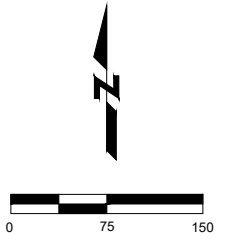
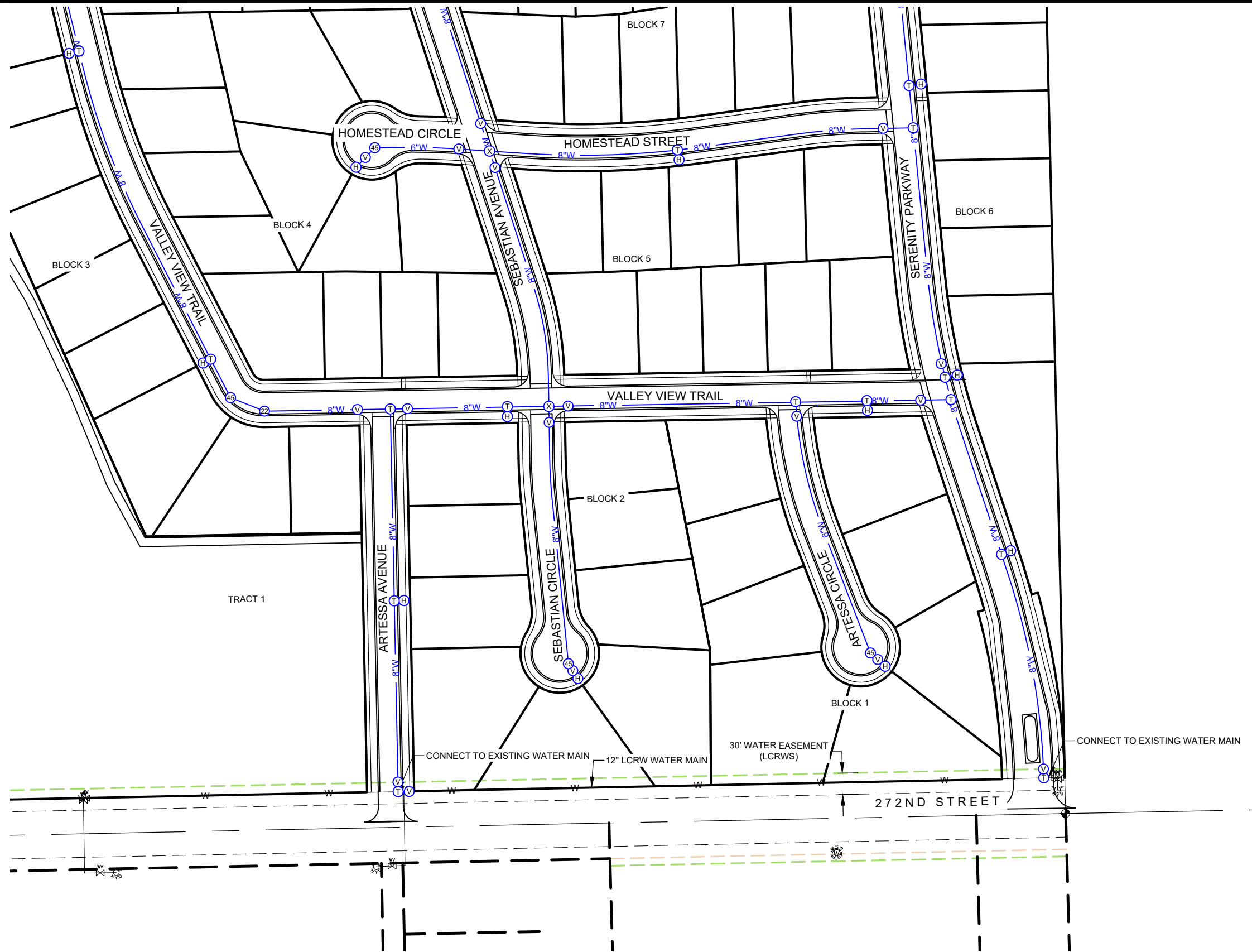
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SHEET NO.  
**H.08**



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 PLOT DATE: 4/2/2024 8:11 AM - Andrew Burchette



### LEGEND OF SYMBOLS

	EXISTING WATER MAIN & SIZE
	EXISTING VALVE & BOX
	EXISTING FIRE HYDRANT
	EXISTING WATER SHUTOFF
	PROPOSED WATER MAIN & SIZE
	PROPOSED VALVE & BOX
	PROPOSED TEE
	PROPOSED CROSS
	PROPOSED REDUCER OR INCREASER
	PROPOSED SLEEVE
	PROPOSED FIRE HYDRANT
	PROPOSED 90° BEND
	PROPOSED 45° BEND
	PROPOSED 22 1/2° BEND
	PROPOSED 11 1/4° BEND
	PROPOSED M.J. CAP

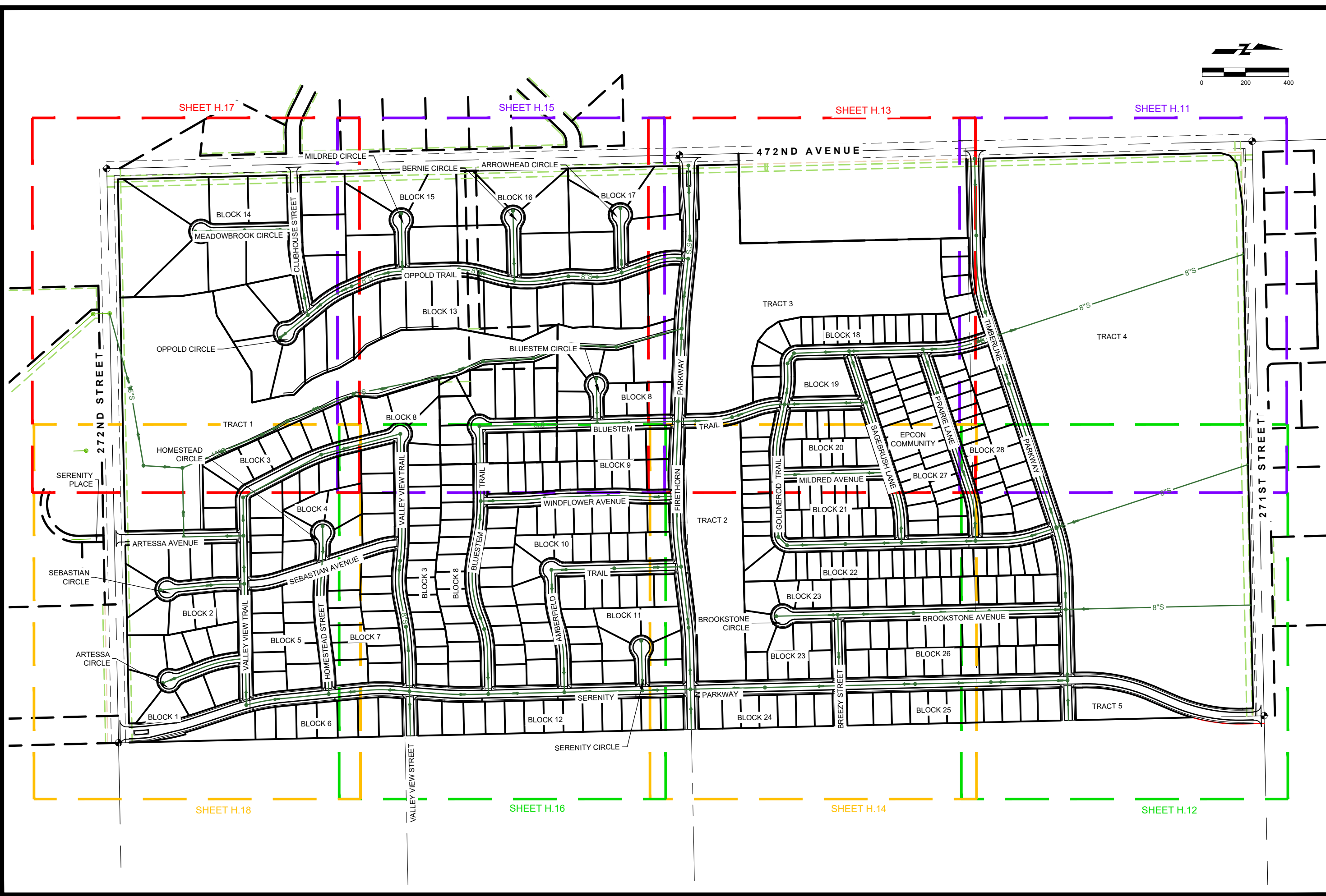
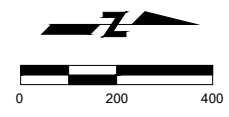
NOTE:  
 1. PROPOSED WATERMAIN WILL BE OWNED AND OPERATED BY LINCOLN COUNTY RURAL WATER.  
 2. ALL LOTS SERVICED BY PROPOSED WATERMAIN WILL INCLUDE A METER PIT.

**ARTESSA ADDITION**  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD

**WATER LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:





SHEET H.17

SHEET H.15

SHEET H.13

SHEET H.11

SHEET H.18

SHEET H.16

SHEET H.14

SHEET H.12

ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

SANITARY SEWER LAYOUT - SHEET ORIENTATION

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Layout.dwg
DRAWN BY: IDG	DATE:
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REVISIONS:	



SHEET NO.  
**H.10**

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PLOT DATE: 4/27/2024 8:11 AM Andrew Burdette

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271ST STREET

472ND AVENUE

30' WATER EASEMENT  
(LCRWS WIDTH MAY VARY)

30' WATER EASEMENT  
(LCRWS)

35' WATER EASEMENT  
(LCRWS)

SHOWN FOR ILLUSTRATIVE  
PURPOSES. FINAL LOCATION  
TO BE DETERMINED UPON  
SITE DESIGN OF GENERAL  
BUSINESS DISTRICT.

TRACT 4

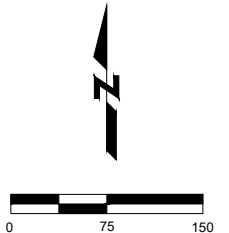
TIMBERLINE PARKWAY

BLOCK 28

BLOCK 19

### LEGEND OF SYMBOLS

	EXISTING SANITARY MANHOLE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY FLOW DIRECTION
	PROPOSED SANITARY MANHOLE
	PROPOSED SANITARY SEWER & SIZE



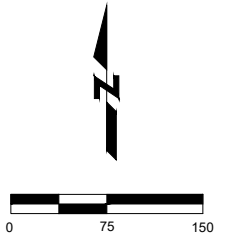
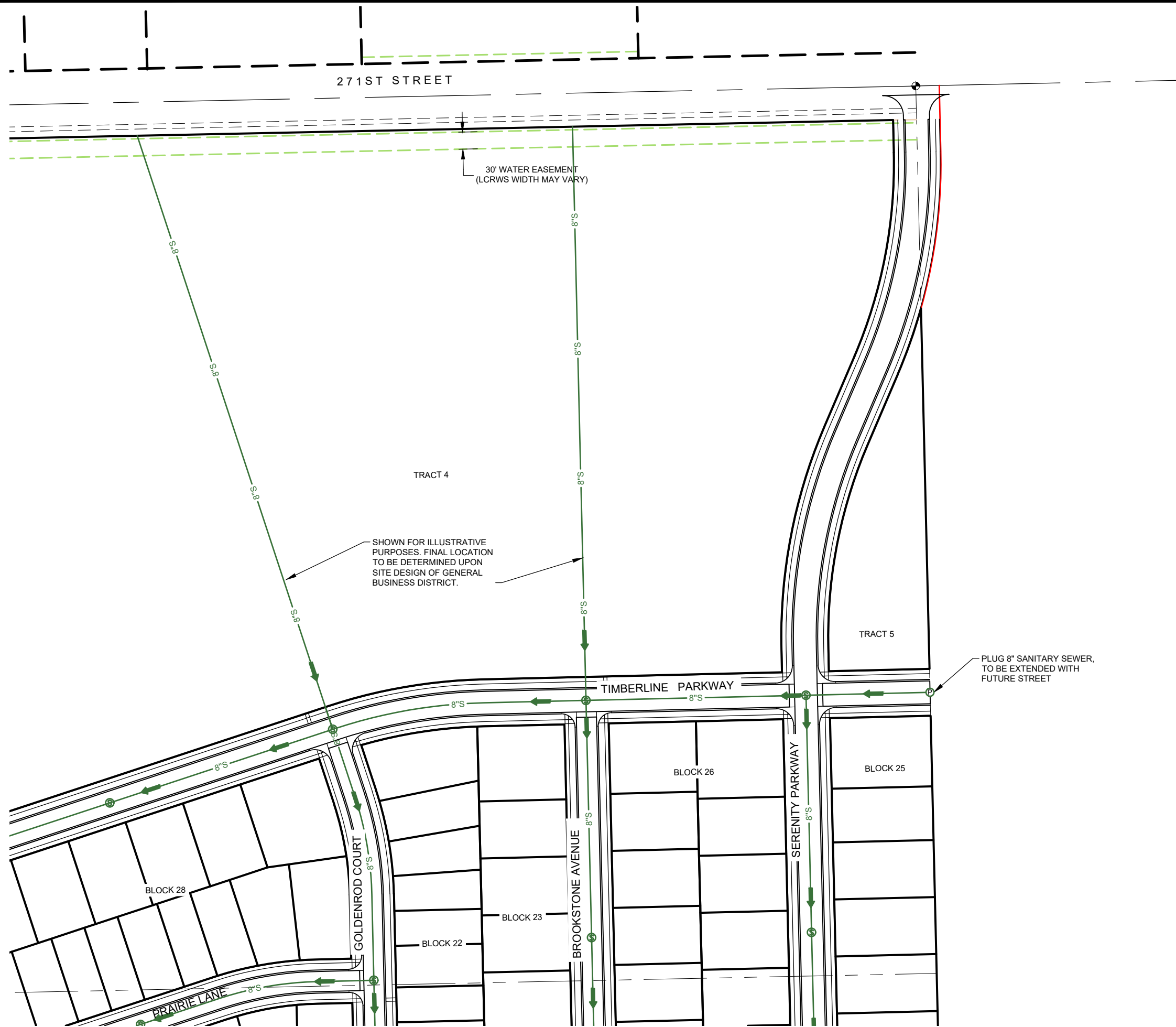
SANITARY SEWER LAYOUT

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REVISIONS:	DATE:



SHEET NO.

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PLOT DATE: 4/27/2024 8:11 AM Andrew Burdette



**LEGEND OF SYMBOLS**

- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY FLOW DIRECTION
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY SEWER & SIZE

ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

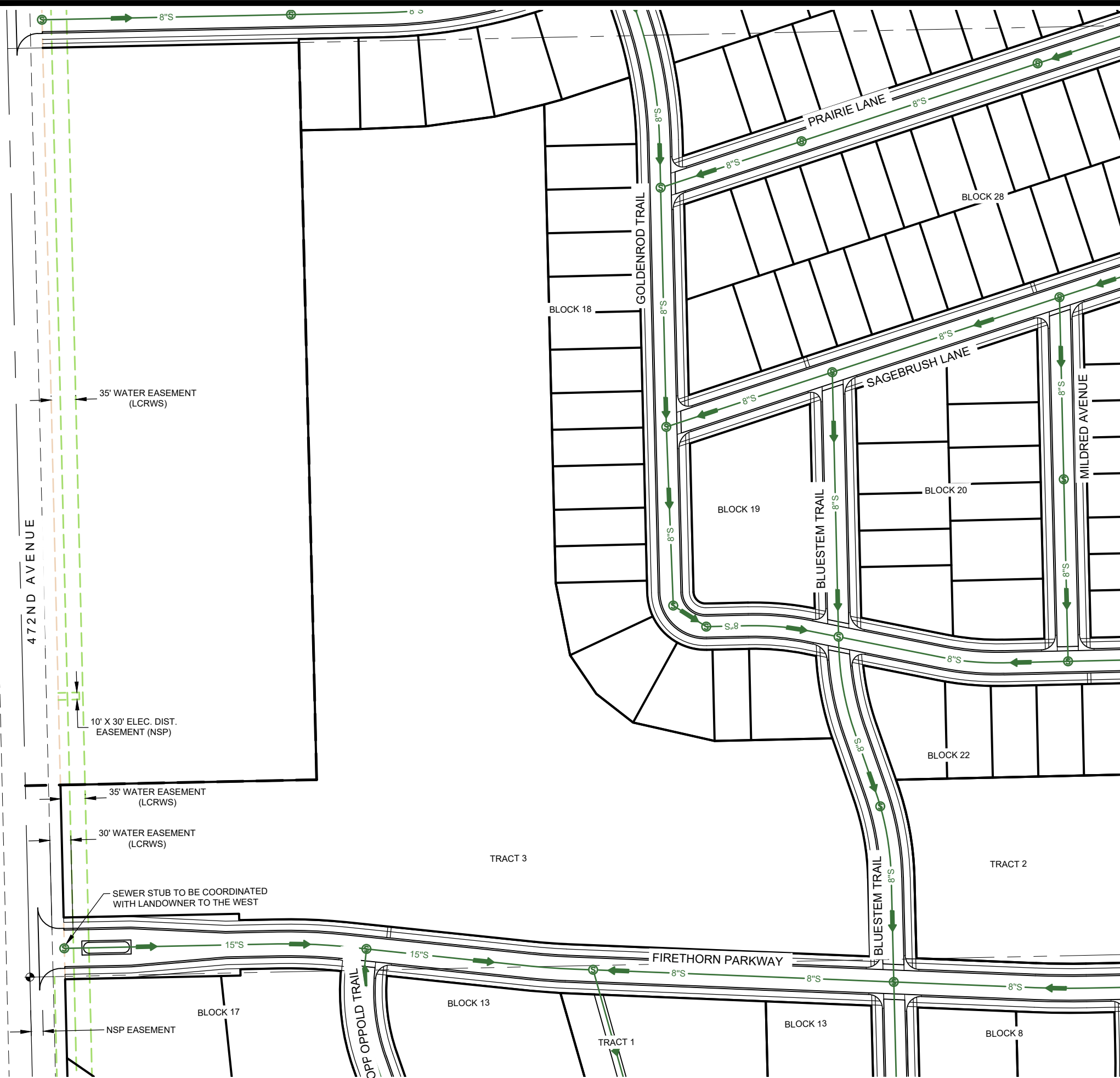
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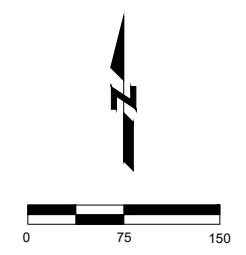
SHEET NO.  
**H.12**

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 PLOT DATE: 4/27/2024 8:11 AM - Andrew Burdette



### LEGEND OF SYMBOLS

	EXISTING SANITARY MANHOLE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY FLOW DIRECTION
	PROPOSED SANITARY MANHOLE
	PROPOSED SANITARY SEWER & SIZE



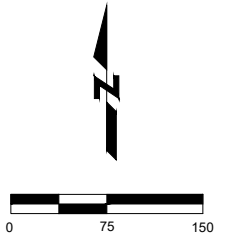
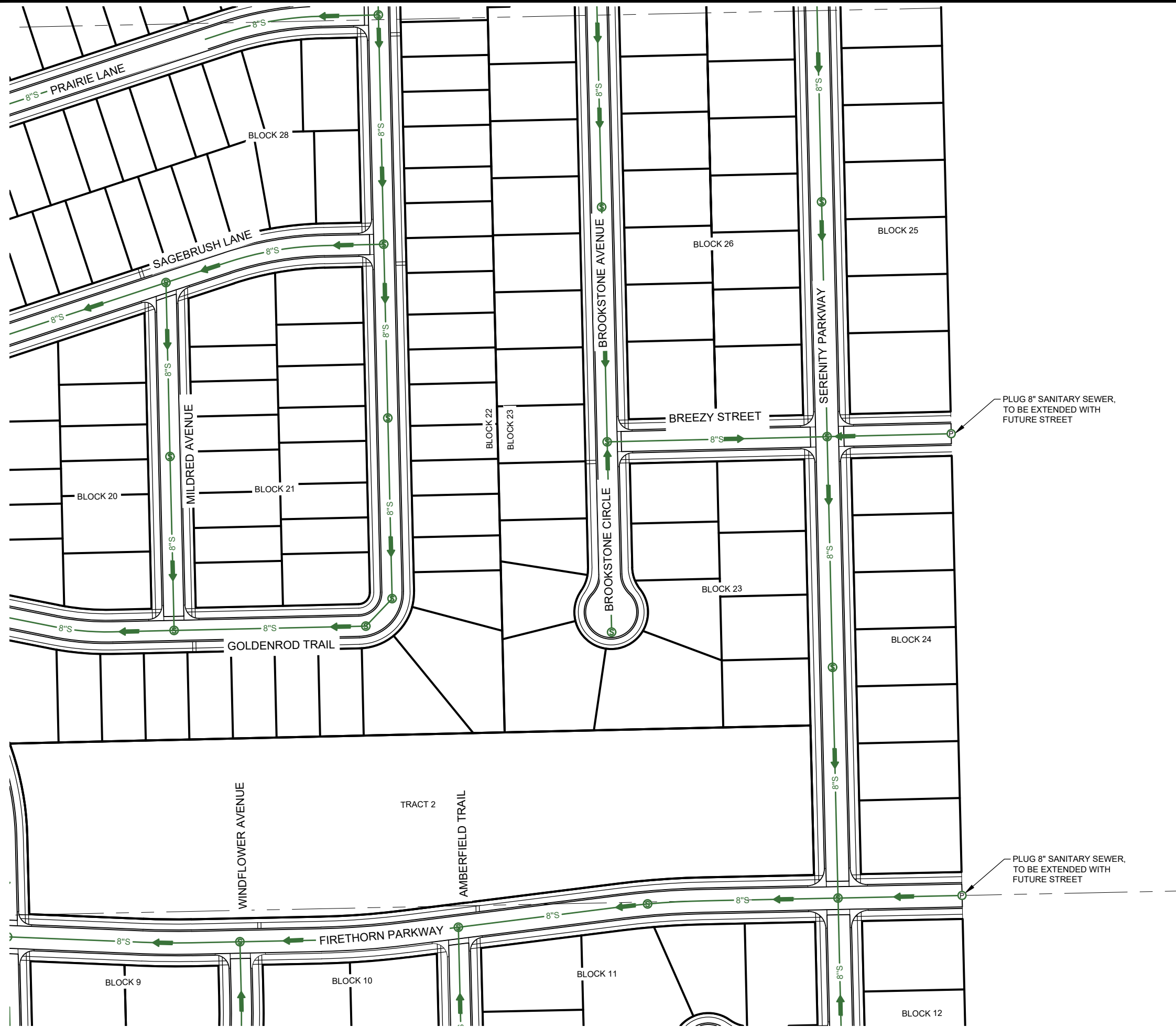
**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

**SANITARY SEWER LAYOUT**

DESIGNED BY: JCG	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
DRAWN BY: JCG	DATE:
CHECKED BY: JCG	BY: DATE:
REVISIONS:	BY: DATE:



S:\0-2023 Projects\23090 - Artesa Development\Design\CAD\Sheets\Primary Subdivision Plan\23090\_Prelim\_Utility\_Layout.dwg  
PLOT DATE: 4/27/2024 8:11 AM Andrew Burdette



**LEGEND OF SYMBOLS**

- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY FLOW DIRECTION
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY SEWER & SIZE

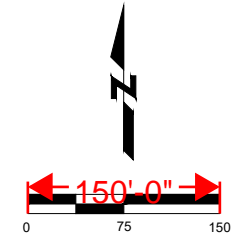
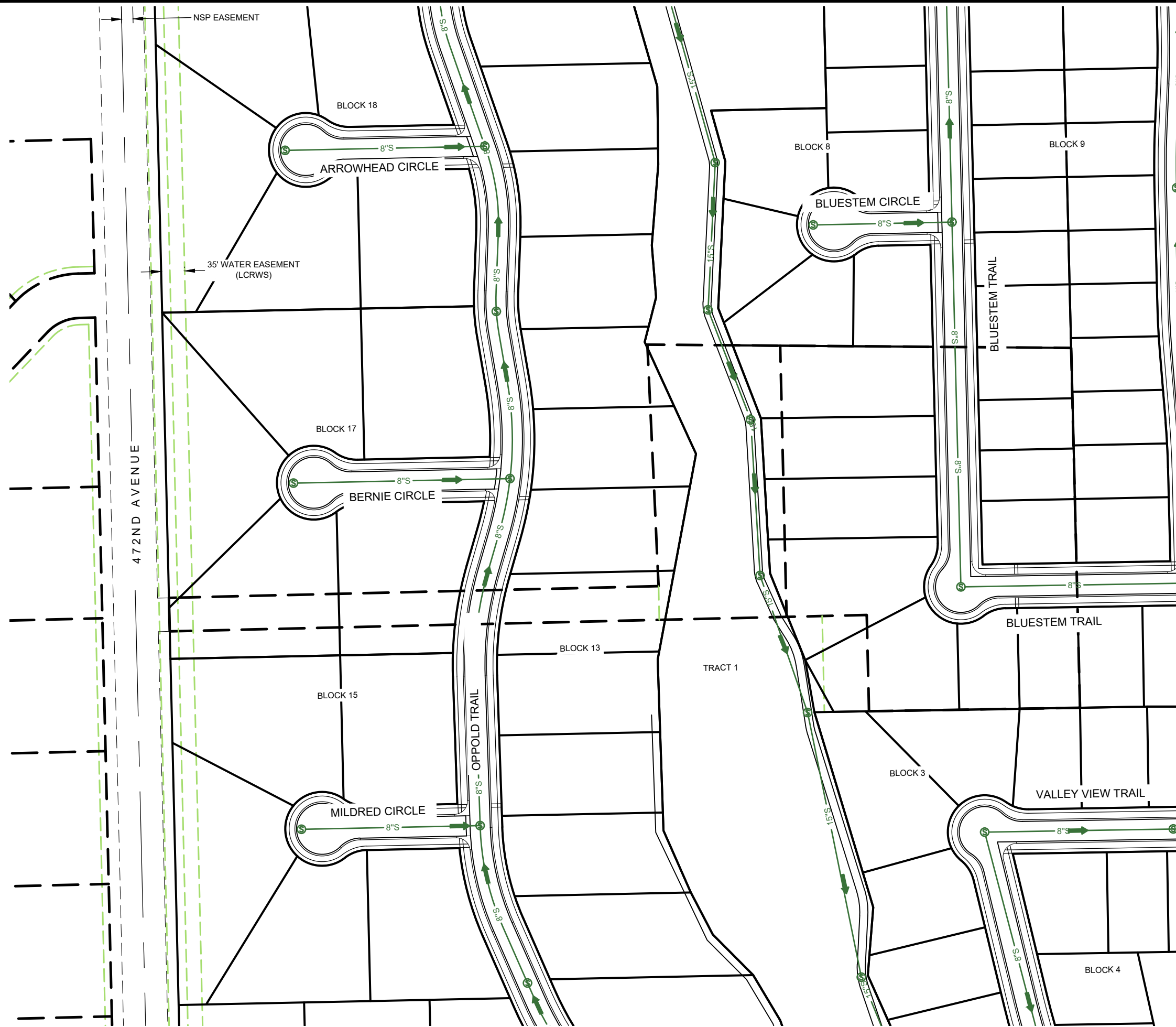
**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

**SANITARY SEWER LAYOUT**






DESIGNED BY: JCG	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
DRAWN BY: JCG	DATE:
CHECKED BY: JCG	BY: DATE:
REVISIONS:	BY: DATE:



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PLOT DATE: 4/27/2025 8:11 AM Autodesk Bureau



**LEGEND OF SYMBOLS**

-  EXISTING SANITARY MANHOLE
-  EXISTING SANITARY SEWER
-  PROPOSED SANITARY FLOW DIRECTION
-  PROPOSED SANITARY MANHOLE
-  PROPOSED SANITARY SEWER & SIZE

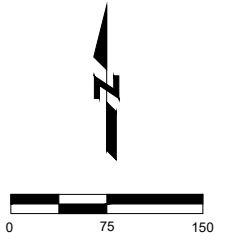
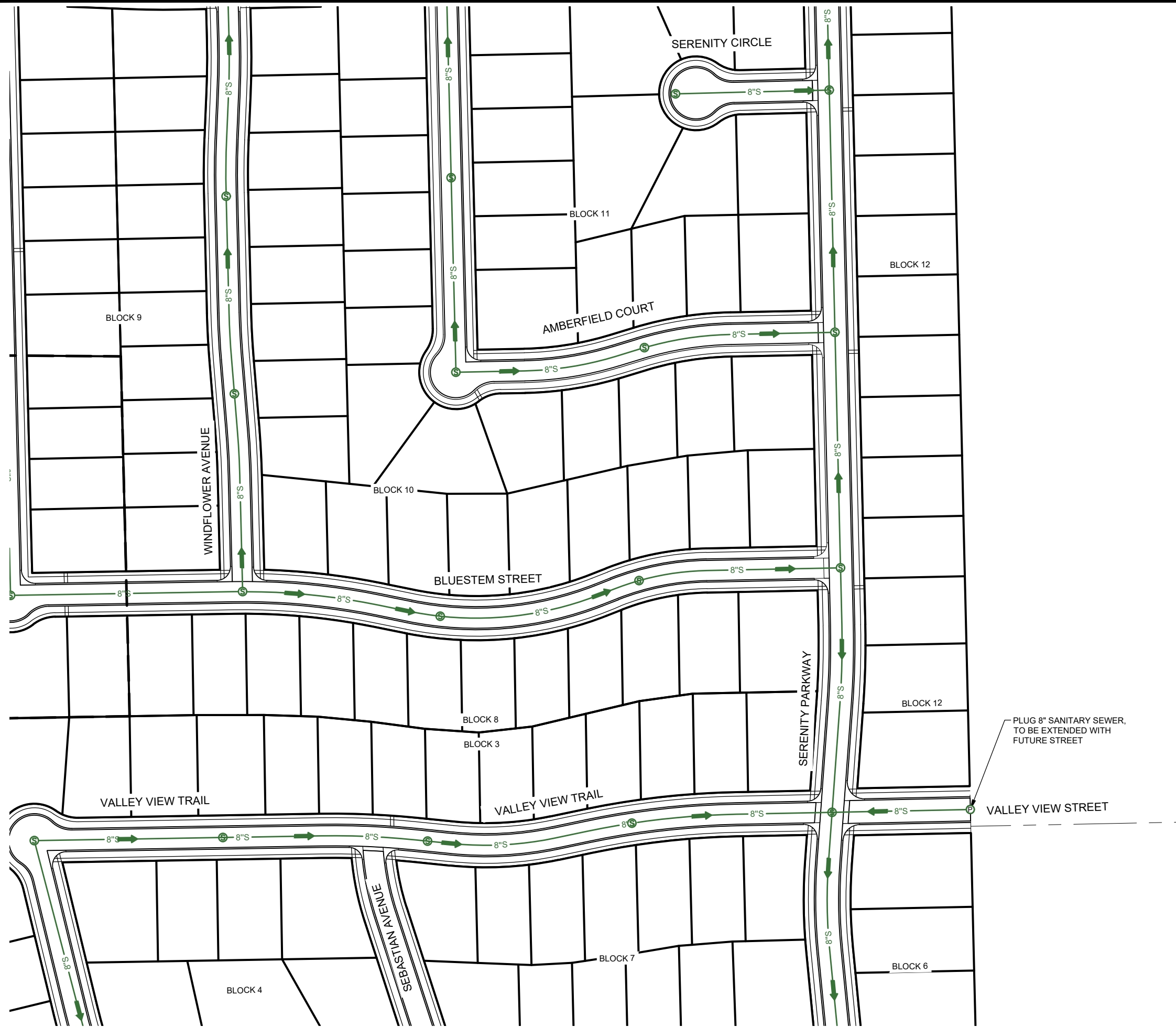
**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

**SANITARY SEWER LAYOUT**






DESIGNED BY: JDC	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
DRAWN BY: JDC	DATE:
CHECKED BY: JDC	DATE:
REVISIONS:	BY: DATE:



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PLOT DATE: 4/27/2024 8:11 AM Andros Burdick



**LEGEND OF SYMBOLS**

-  EXISTING SANITARY MANHOLE
-  EXISTING SANITARY SEWER
-  PROPOSED SANITARY FLOW DIRECTION
-  PROPOSED SANITARY MANHOLE
-  PROPOSED SANITARY SEWER & SIZE

**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

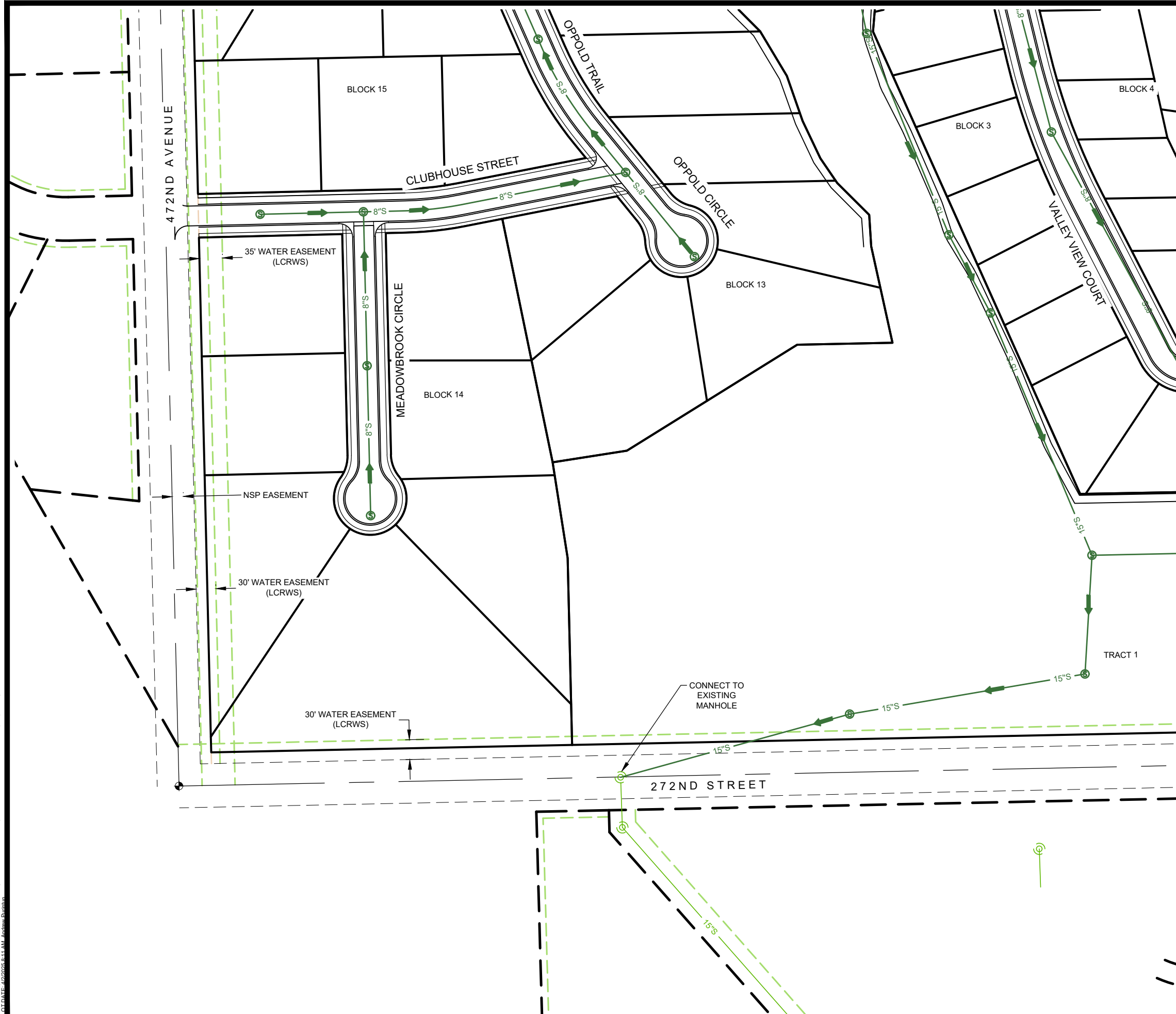
**SANITARY SEWER LAYOUT**

DESIGNED BY: JDC	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
DRAWN BY: JDC	DATE:
CHECKED BY: JDC	DATE:
REVISIONS:	BY: DATE:










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PLOT DATE: 4/22/2025 8:11 AM Andrina Burchette



### LEGEND OF SYMBOLS

-  EXISTING SANITARY MANHOLE
-  EXISTING SANITARY SEWER
-  PROPOSED SANITARY FLOW DIRECTION
-  PROPOSED SANITARY MANHOLE
-  PROPOSED SANITARY SEWER & SIZE

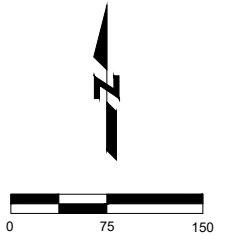
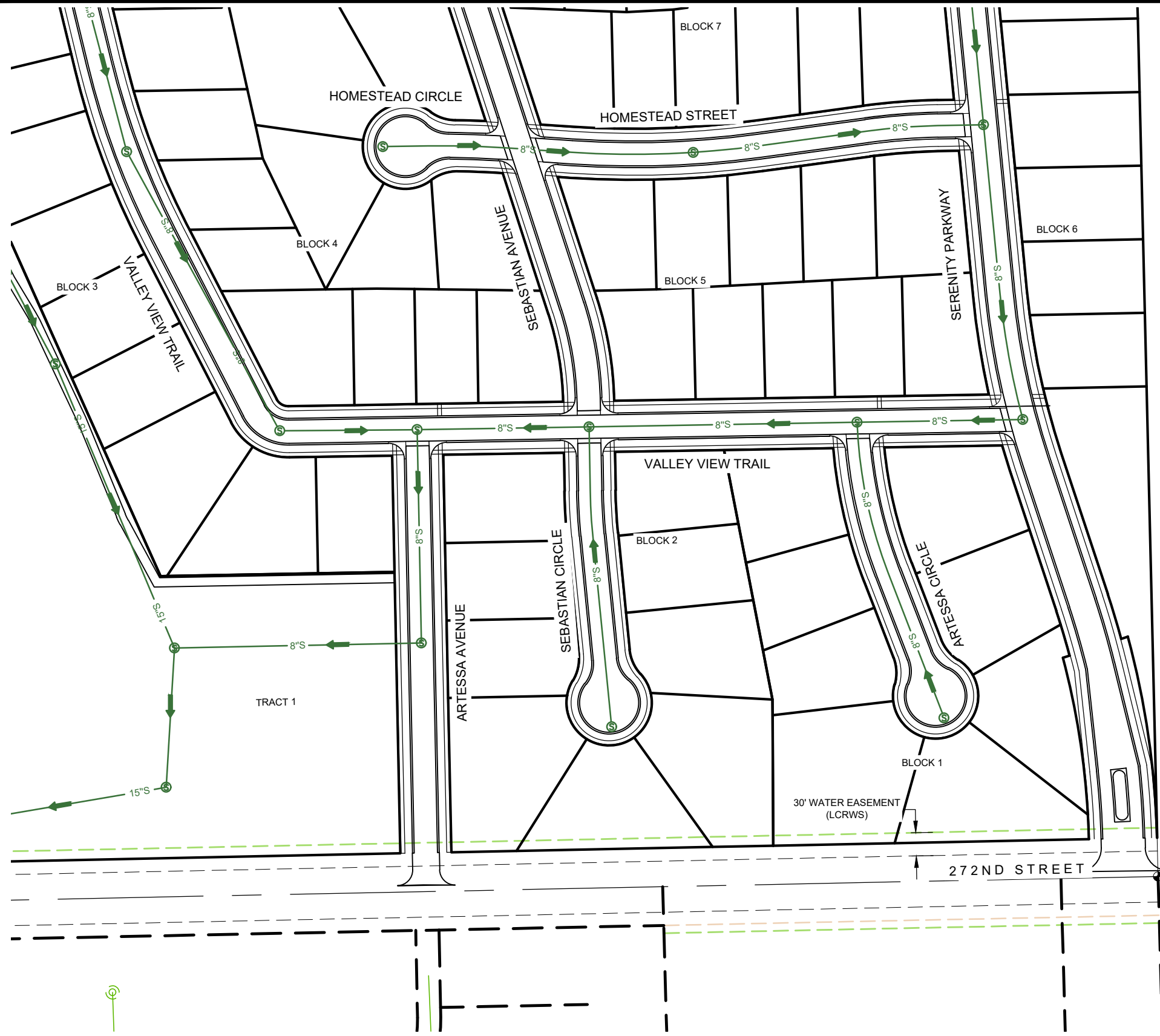
**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

**SANITARY SEWER LAYOUT**

DESIGNED BY: JDC	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
DRAWN BY: JDC	DATE:
CHECKED BY: JDC	BY: DATE:
REVISIONS:	BY: DATE:



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PLOT DATE: 4/2/2025 8:44 AM - Autodesk



**LEGEND OF SYMBOLS**

- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY FLOW DIRECTION
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY SEWER & SIZE

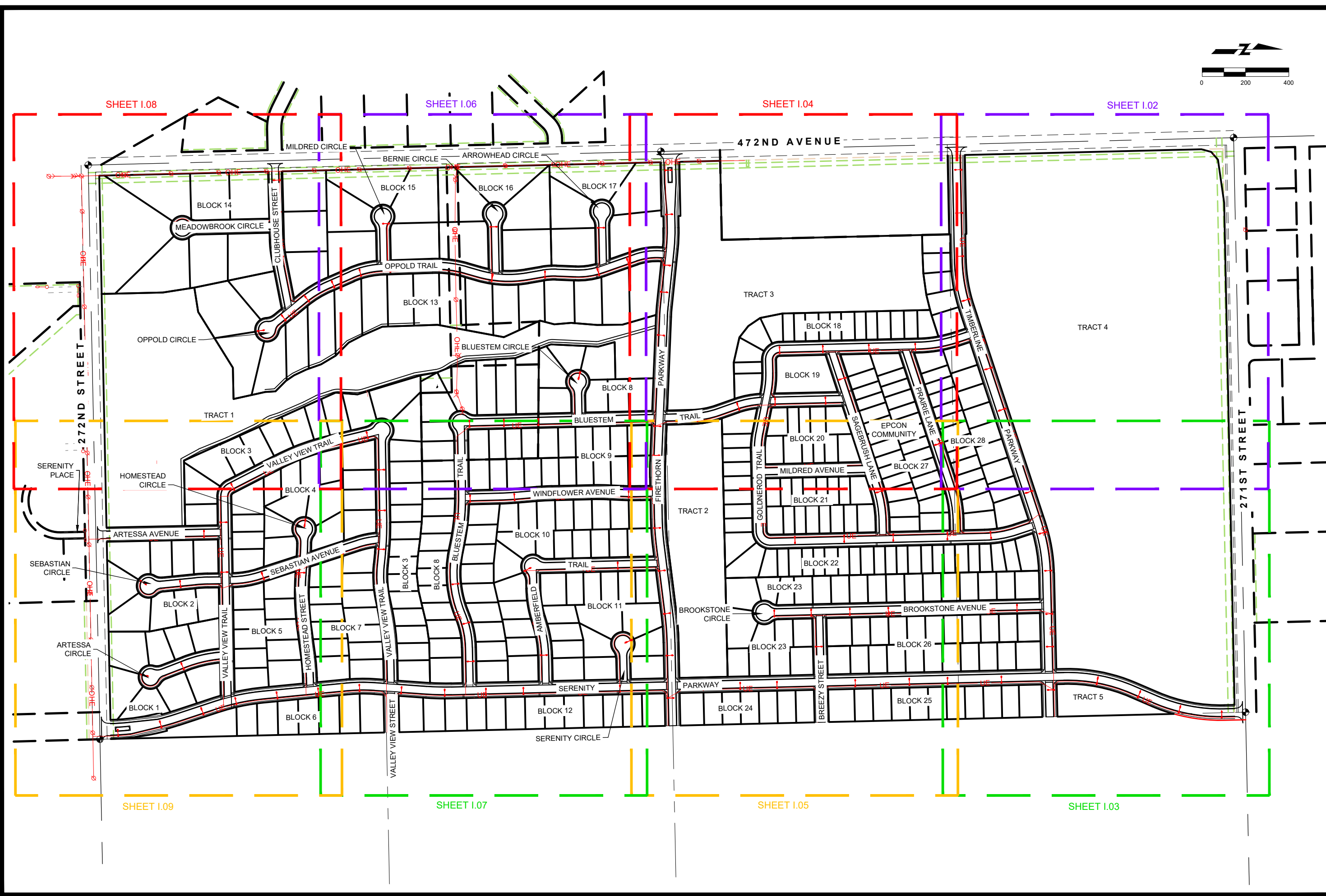
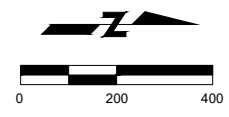
ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

SANITARY SEWER LAYOUT

DESIGNED BY: JDC	ACAD FILE: 23090_Prelim_Utility_Layout.dwg
DRAWN BY: JDC	DATE:
CHECKED BY: JDC	BY: DATE:
REVISIONS:	BY: DATE:



SHEET NO.  
**H.18**



ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

STREET LIGHTING LAYOUT - SHEET ORIENTATION

DESIGNED BY: JLG	ACAD FILE: 23090_Prelim_LightingLayout.dwg
DRAWN BY: JLG	DATE:
CHECKED BY: JLG	DATE:
BY:	DATE:
REVISIONS:	



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PLOT DATE: 4/22/2024 8:11 AM Andrew Burdette

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PLOT DATE: 4/27/2024 8:12 AM Andrew Burchette

472ND AVENUE

271ST STREET

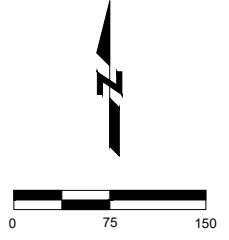
TRACT 4

DETENTION AREA  
(FINAL LOCATION TBD)

TIMBERLINE PARKWAY

BLOCK 28

BLOCK 18



LEGEND	
	EXISTING OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	STREET LIGHT

STREET LIGHTING LAYOUT

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Lighting_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	BY: DATE:
REVISIONS:	BY: DATE:

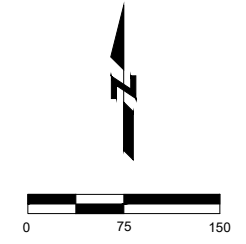
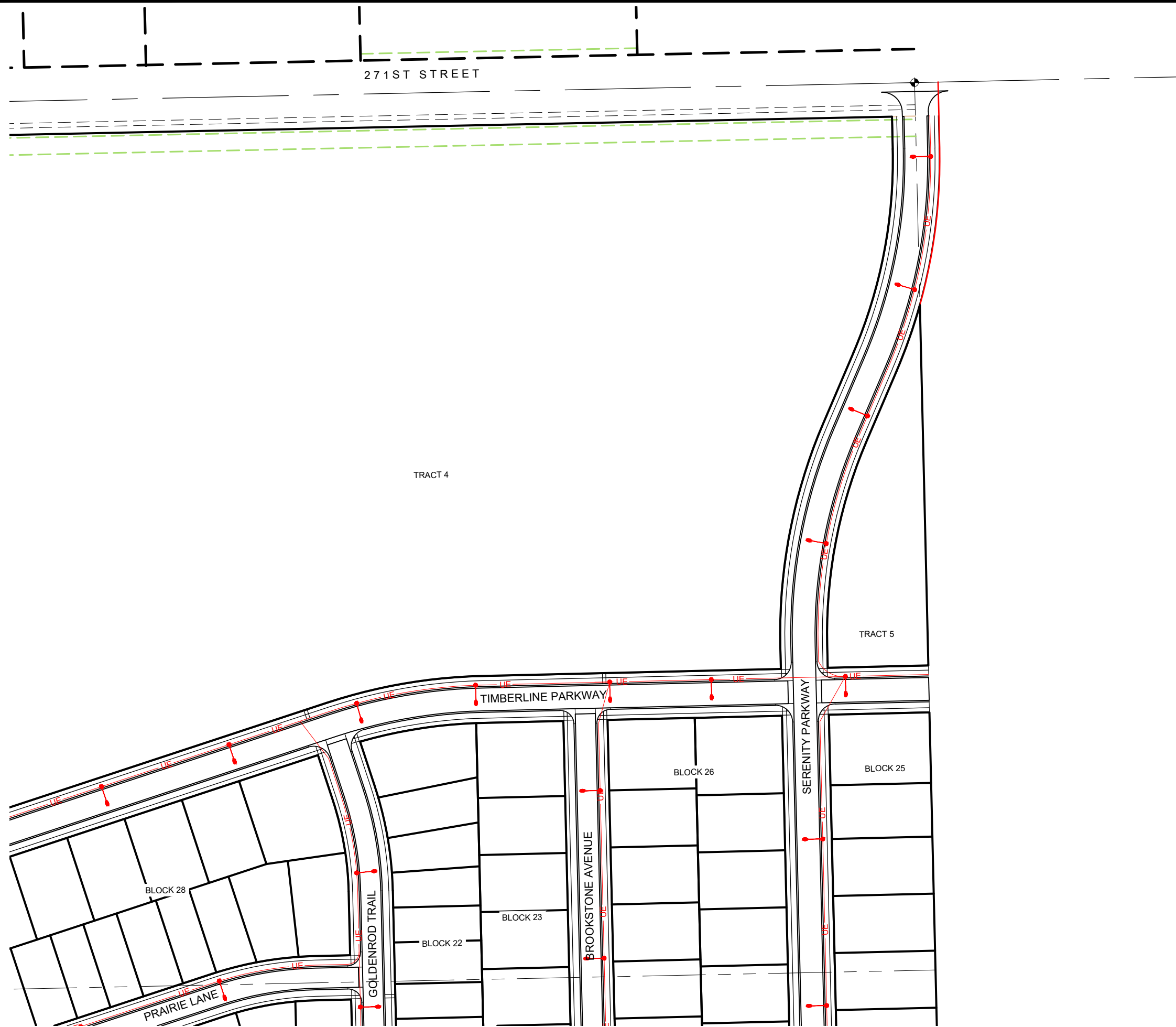


SHEET NO.

1.02

ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

5/10/2023 Project:23090 - Artesa Development\Design\CAD\Sheets\Primary Subdivision Plan\23090\_Prelim\_Lighting\_Layout.dwg  
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LEGEND	
	EXISTING OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	STREET LIGHT

**ARTESSA ADDITION**  
**PRELIMINARY SUBDIVISION PLAN**  
HARRISBURG, SD

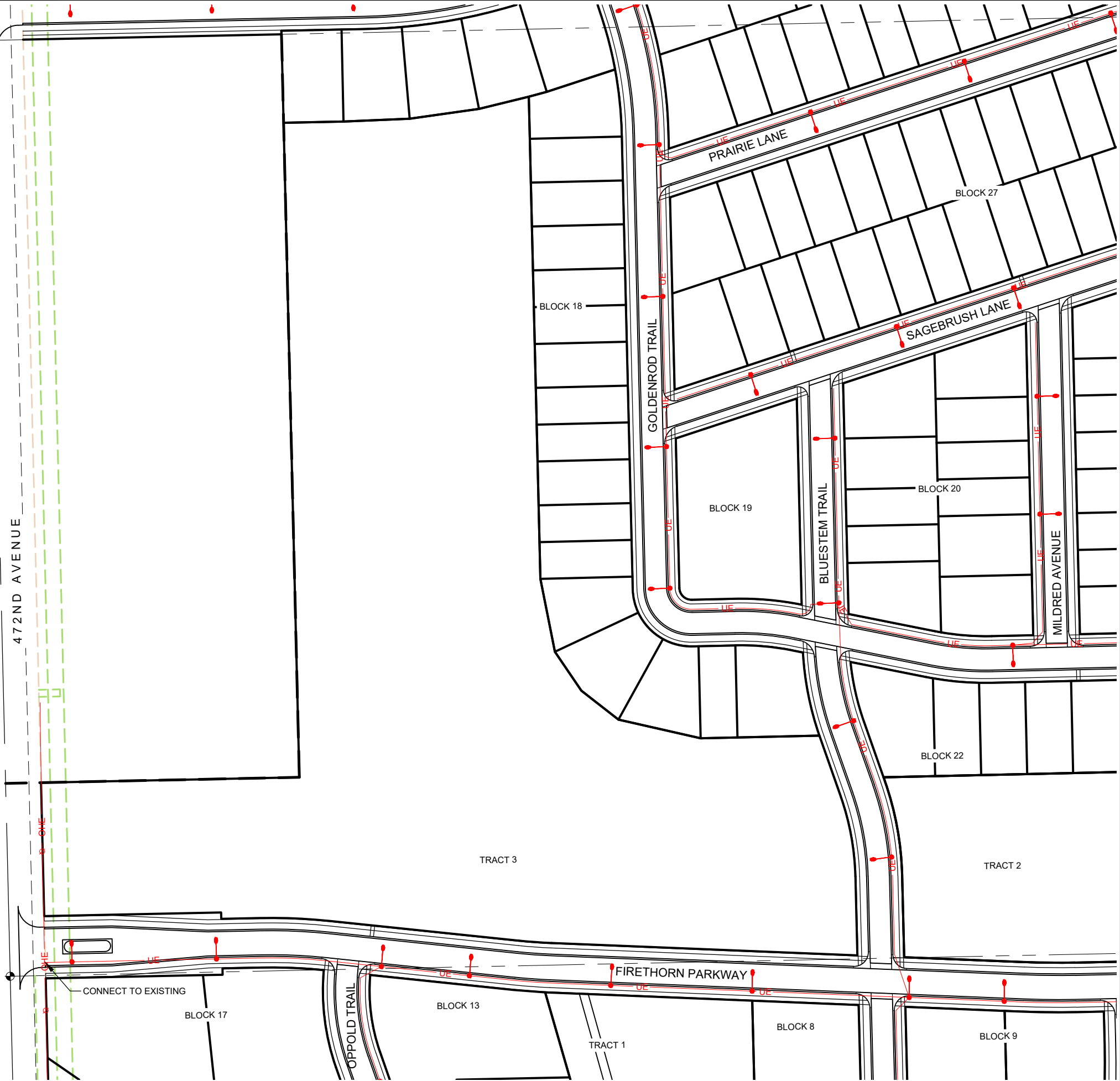
**STREET LIGHTING LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Lighting_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	BY: DATE:
REVISIONS:	BY: DATE:



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PLOT DATE: 4/27/2024 8:12 AM Andrius Buzaitis

472ND AVENUE



CONNECT TO EXISTING

BLOCK 17

BLOCK 13

TRACT 1

BLOCK 8

BLOCK 9

FIRETHORN PARKWAY

TRACT 3

TRACT 2

BLOCK 22

BLOCK 19

BLOCK 20

BLOCK 27

BLOCK 18

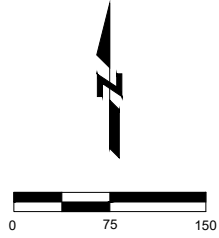
GOLDENROD TRAIL

BLUESTEM TRAIL

MILDRED AVENUE

SAGEBRUSH LANE

PRAIRIE LANE



LEGEND	
	OHE EXISTING OVERHEAD ELECTRIC
	UE UNDERGROUND ELECTRIC
	STREET LIGHT

STREET LIGHTING LAYOUT

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Lighting_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:

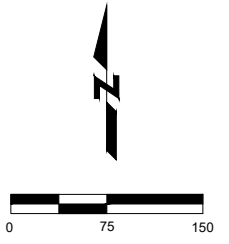
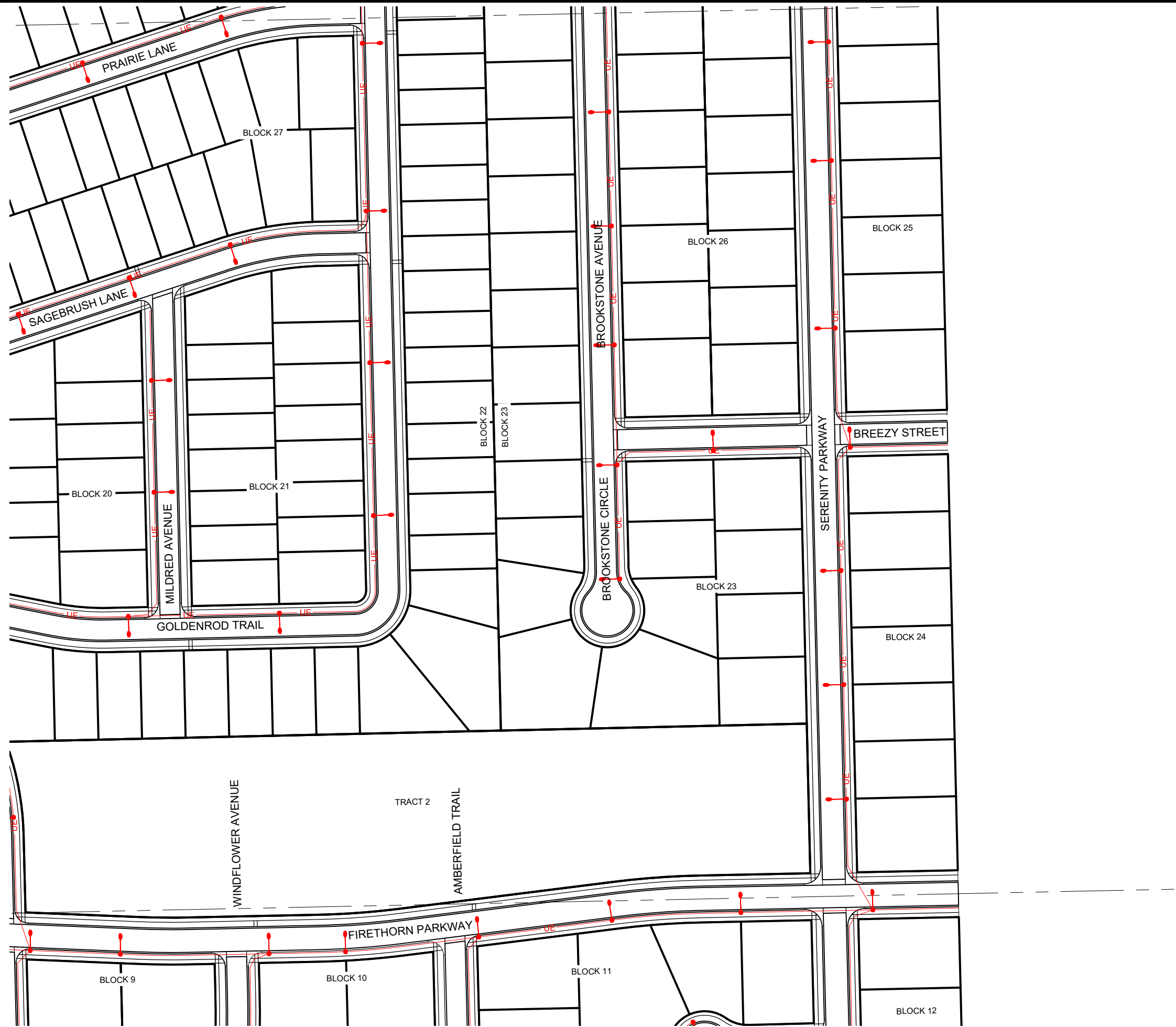


ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD

SHEET NO.

1.04

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PLOT DATE: 4/27/2024 8:12 AM - Andrew Burdette



**LEGEND**

- OHE — EXISTING OVERHEAD ELECTRIC
- UE — UNDERGROUND ELECTRIC
- — ● STREET LIGHT

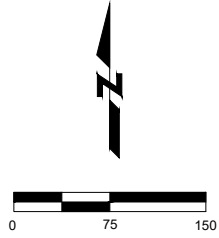
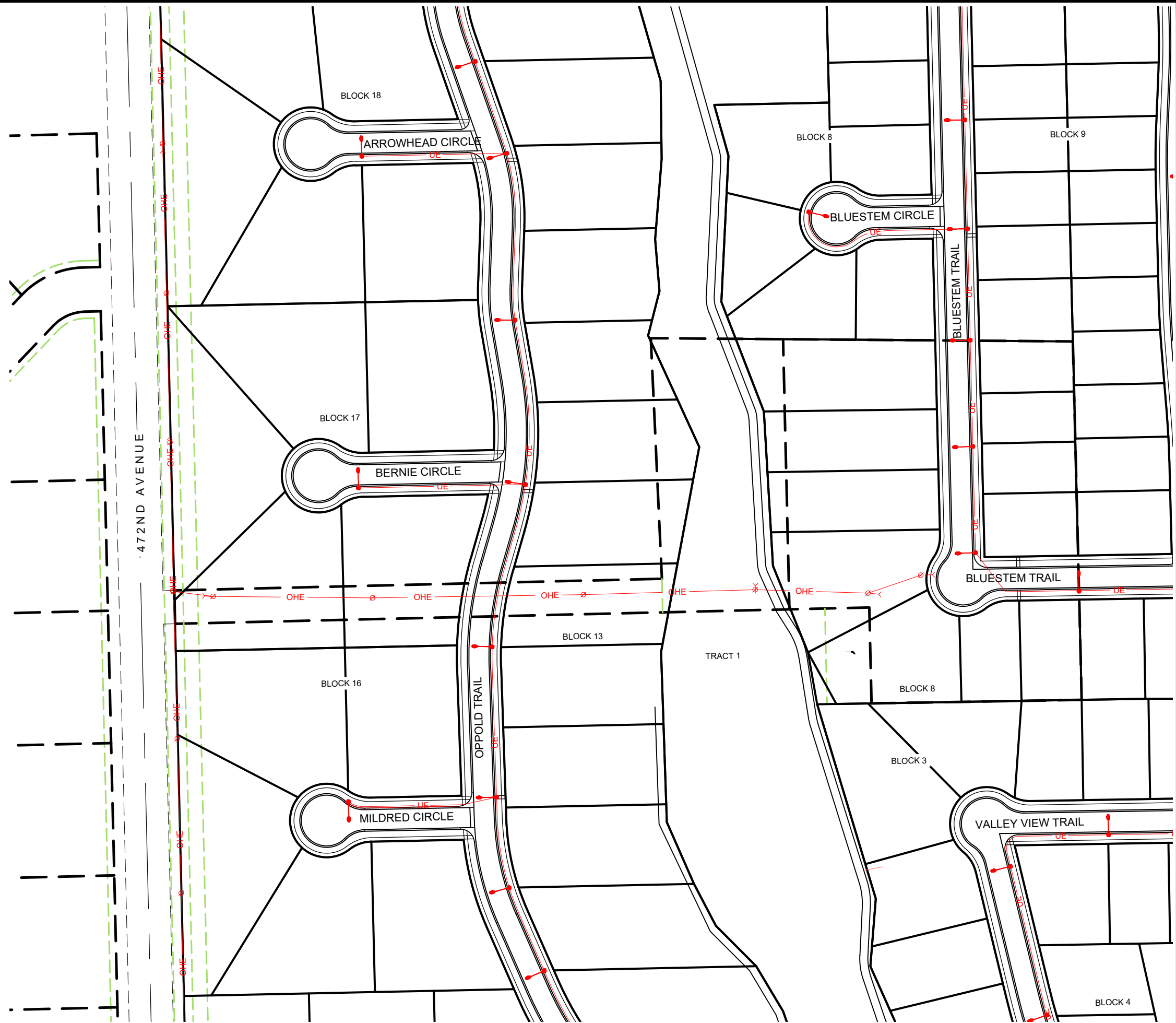
**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

**STREET LIGHTING LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Lighting_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	BY: DATE:
REVISIONS:	BY: DATE:



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PLOT DATE: 4/27/2025 8:12 AM Andrew Burdette



**LEGEND**

- OHE — EXISTING OVERHEAD ELECTRIC
- UE — UNDERGROUND ELECTRIC
- — ● STREET LIGHT

**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

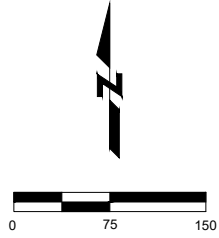
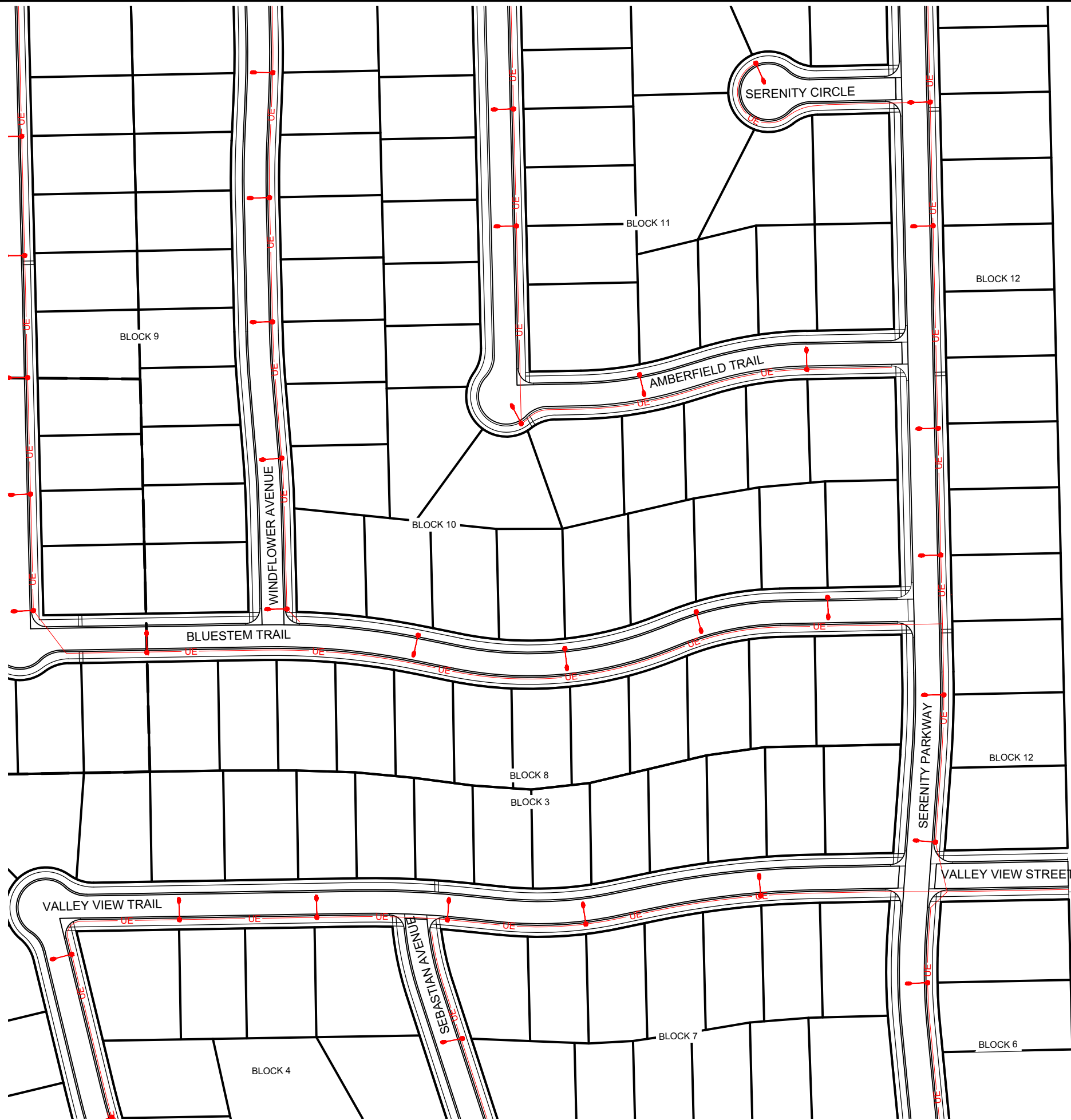
**STREET LIGHTING LAYOUT**

DESIGNED BY: IDG	ACAD FILE: 23090_Prelim_Lighting_Layout.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:





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PLOT DATE: 4/22/2025 8:12 AM Andrew Burdette



**LEGEND**

- OHE — EXISTING OVERHEAD ELECTRIC
- UE — UNDERGROUND ELECTRIC
- — ● STREET LIGHT

**ARTESSA ADDITION  
PRELIMINARY SUBDIVISION PLAN  
HARRISBURG, SD**

**STREET LIGHTING LAYOUT**

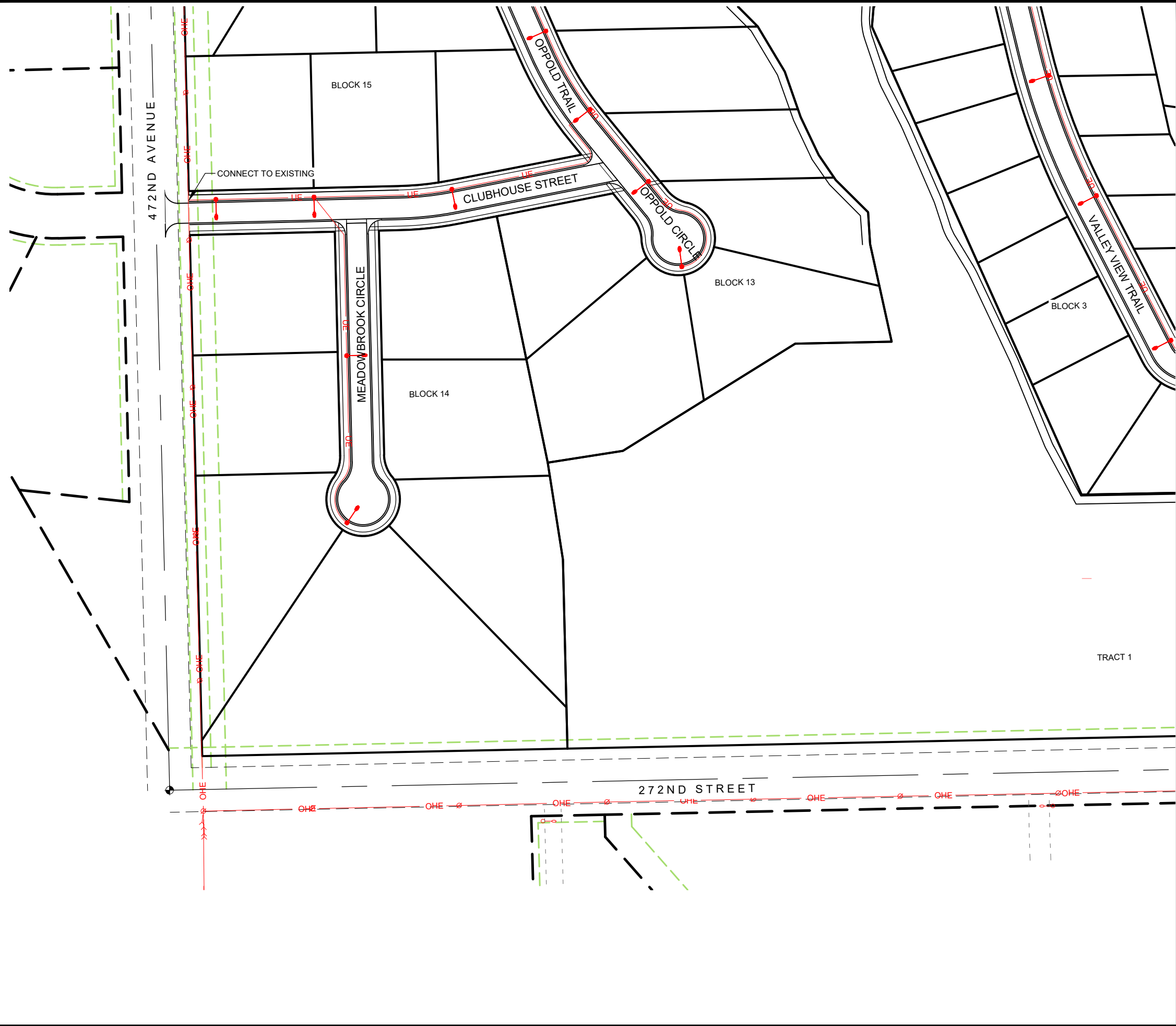
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CHECKED BY: JDC DATE: \_\_\_\_\_  
REVISIONS: BY: \_\_\_\_\_ DATE: \_\_\_\_\_



SHEET NO.

**1.07**

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PLOT DATE: 4/27/2024 8:12 AM - Andrew Burdette



**LEGEND**

- OHE — EXISTING OVERHEAD ELECTRIC
- UE — UNDERGROUND ELECTRIC
- — ● — STREET LIGHT

**STREET LIGHTING LAYOUT**

DESIGNED BY: IDG      ACAD FILE: 23090\_Prelim\_Lighting\_Layout.dwg  
 DRAWN BY: IDG      DATE:  
 CHECKED BY: IDG      BY:      DATE:  
 REVISIONS:

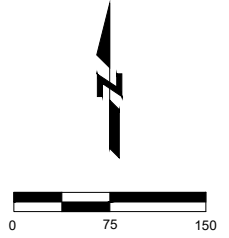
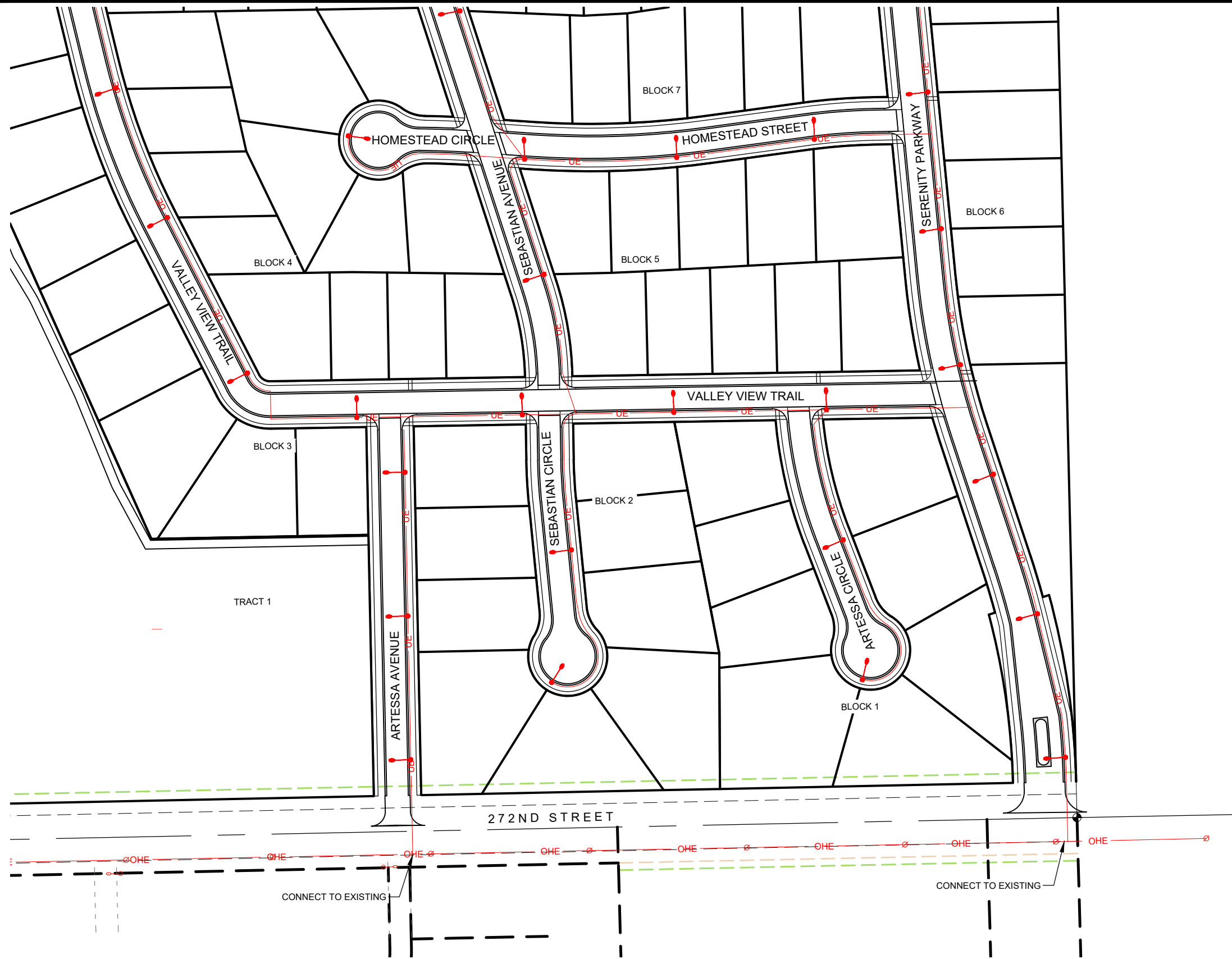


**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

SHEET NO.

**1.08**

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PLOT DATE: 4/22/2025 8:12 AM Andrew Burchette



LEGEND	
	EXISTING OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	STREET LIGHT

**STREET LIGHTING LAYOUT**

DESIGNED BY: IDG ACAD FILE: 23090\_Prelim\_Lighting\_Layout.dwg  
 DRAWN BY: IDG  
 CHECKED BY: IDG DATE: \_\_\_\_\_  
 REVISIONS: BY: \_\_\_\_\_ DATE: \_\_\_\_\_

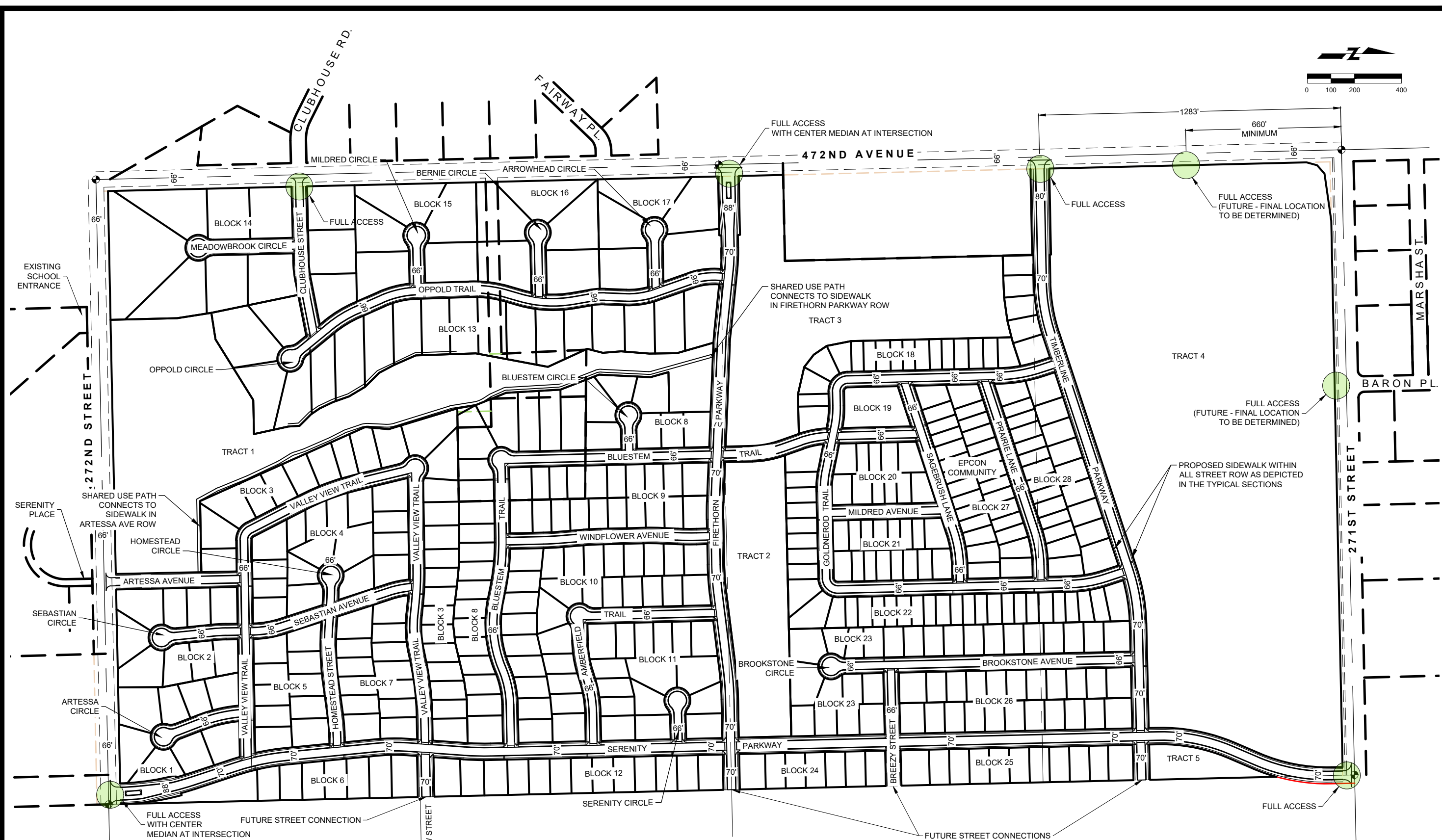


SHEET NO.

**1.09**

**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

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**NOTE:**  
 SEE SPECIAL NOTE "TRAFFIC AND STREET INTENTIONS"  
 ON SHEET B.01 FOR MORE INFORMATION PERTAINING  
 TO PROPOSED ACCESS LOCATIONS.

SEE TYPICAL SECTION FOR SIDEWALK LOCATION IN  
 ROW.

SIDEWALK AT INTERSECTIONS WILL MEET CITY OF  
 SIOUX FALLS AND ADAAG/PROWAG SPECIFICATIONS.

TABLE OF STREET CLASSIFICATIONS			
CODE	CLASSIFICATION	ROW WDMTH	STREET WDMTH
L	LOCAL STREET	66'	35' B-B
C	COLLECTOR STREET	70' to 80' *	39' B-B *

\*Collector streets intersecting 272nd Street and 472nd Avenue are anticipated to be constructed with a center median at the locations shown. See Typical Sections.

**ARTESSA ADDITION  
 PRELIMINARY SUBDIVISION PLAN  
 HARRISBURG, SD**

**ACCESS LAYOUT**

DESIGNED BY: IDG  
 DRAWN BY: IDG  
 CHECKED BY: IDG  
 ACAD FILE: 23090\_Prelim\_Access Layout.dwg  
 DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_



**City of Harrisburg**  
**Building Permits Issued March 2025**

3/3/2025	2025-0043	Oveson, Andrew & Briana	Residential Reshingle	LT Companies	7,000.00	500 Almond Avenue	Harrisburg
3/3/2025	2025-0044	Bot, Carl & Kim	Residential Accessory Structure	Bot, Carl	4,200.00	1004 Birch Street	Harrisburg
3/4/2025	2025-0045	Mohr, Dan & Mary	Fence	American Fence Company	11,000.00	402 Dale Avenue	Harrisburg
3/5/2025	2025-0046	Mydland Estates, LLC	New Single-Family Home	O'Connor Construction LLC	300,000.00	157 Mydland Circle	Harrisburg
3/10/2025	2025-0049	Hofmeyer, Joshua & Tonya	Deck (Front Stoop)	Sybesma, Reed	3,500.00	309 Marie Circle	Harrisburg
3/11/2025	2025-0051	GH Properties, LLC	New Single-Family Home	GH Properties, LLC	475,000.00	810 Melissa Avenue	Harrisburg
3/11/2025	2025-0052	Hughes, David & Melanie	Accessory Structure (Greenhouse)	Hughes, David	1,800.00	403 Troy Avenue	Harrisburg
3/11/2025	2025-0053	Sithad, Tommy	Lower-Level Finish (Partial)	Sithad, Tommy	15,000.00	428 Macey Avenue	Harrisburg
3/12/2025	2025-0054	Thompson, Preseley & Michael	Fence	American Fence Company	8,600.00	714 Highland Street	Harrisburg
3/12/2025	2025-0055	Harrisburg School District	Telecommunications Tower	Verizon Wireless	175,000.00	1300 Willow Street	Harrisburg
3/12/2025	2025-0057	Schultz, Ross & Connie	Fence	Complete Fence	7,134.00	710 Spruce Street	Harrisburg
3/12/2025	2025-0058	Sturges, Alicia	Fence	Complete Fence	12,565.00	435 Andrew Avenue	Harrisburg
3/19/2025	2025-0066	Nyenhuis, Brittany & Jonah	Fence	American Fence Company	4,800.00	506 Miah Street	Harrisburg
3/20/2025	2025-0067	Wegenke, Nicholas	Lower-Level Finish	Wegenke, Nicholas	8,000.00	602 Miah Street	Harrisburg
3/20/2025	2025-0059	Tiger Meadows, LLC	New Single-Family Home	Mux Construction, Inc.	590,000.00	939 Almond Circle	Harrisburg
3/24/2025	2025-0069	Genuine Builders, Inc.	New Single-Family Home	Genuine Builders, Inc.	220,000.00	141 Caulfield Street	Harrisburg
3/24/2025	2025-0074	Blohiowiak, Josh & Elizabeth	Fence	FED Construction	3,500.00	703 Rosewood Drive	Harrisburg
3/24/2025	2025-0062	Eckhoff, Nat & Dawn	New Single-Family Home	Grand Vision Homes	700,000.00	409 Dale Avenue	Harrisburg
3/27/2025	2025-0030	Bong, Richard	Deck	Deck	5,000.00	710 St. Jerome Street	Harrisburg
3/27/2025	2025-0050	August Homes, LLC	New Single-Family Home	August Homes, LLC	490,000.00	424 Andrew Avenue	Harrisburg
3/27/2025	2025-0078	Sudbeck, Wesley	Lower-Level Finish	Sudbeck, Wesley	15,000.00	610 Kent Street	Harrisburg
3/27/2025	2025-0080	Haala, Jeremy & Traci	Accessory Structure (Shed)	Haala, Jeremy	3,000.00	121 Atlantic Circle	Harrisburg
3/28/2025	2025-0075	Nelson, Jason	Accessory Structure (Pergola)	Outdoor Elements	5,000.00	118 Bedrock Circle	Harrisburg
3/28/2025	2025-0038	Capstone Homes	New Single-Family Home	Capstone Homes	318,900.00	717 Estate Street	Harrisburg
3/28/2025	2025-0079	Groff, Jason & Elizabeth	Residential Mechancial	Waterbury Heating & Cooling	10,900.00	617 United Avenue	Harrisburg
3/31/2025	2025-0082	Tiger Meadows, LLC	New Single-Family Home	Glammeier, Daniel	430,000.00	827 Yuzina Avenue	Harrisburg
3/31/2025	2025-0084	Mauney, Jonathan	Deck	Mauney, Jonathan	3,500.00	101 E. Maple Street	Harrisburg
3/31/2025	2025-0085	McKenzie, Collin	Deck	McKenzie, Collin	3,500.00	603 Tiger Street	Harrisburg
3/31/2025	2025-0093	Lopez, Anderson Lopez	Fence 6'	Lopez, Anderson Lopez	7,700.00	429 Thelma Avenue	Harrisburg

**City of Harrisburg**  
Month-by-Month Comparison

	January			February			March			April			May		
	2023	2024	2025	2023	2024	2025	2023	2024	2025	2023	2024	2025	2023	2024	2025
New Homes	1	0	1	1	10	1	2	6	8	16	10		9	4	
Lower-Level Finish	4	5	9	8	5	6	6	3	3	2	6		3	7	
Fence	0	0	2	0	2	0	0	9	7	12	16		19	30	
Non-Residential (Comm/Ind)	3	1	2	0	2	2	2	3	1	0	6		2	4	
Other	0	2	3	5	3	3	16	12	10	52	19		71	23	
<b>Total Permits</b>	<b>8</b>	<b>8</b>	<b>17</b>	<b>14</b>	<b>22</b>	<b>12</b>	<b>26</b>	<b>33</b>	<b>29</b>	<b>82</b>	<b>57</b>	<b>0</b>	<b>104</b>	<b>68</b>	<b>0</b>
<b>Running Total</b>	<b>8</b>	<b>8</b>	<b>17</b>	<b>22</b>	<b>30</b>	<b>29</b>	<b>48</b>	<b>63</b>	<b>58</b>	<b>130</b>	<b>120</b>	<b>58</b>	<b>234</b>	<b>188</b>	<b>58</b>

	June			July			August			September			October		
	2023	2024	2025	2023	2024	2025	2023	2024	2025	2023	2024	2025	2023	2024	2025
New Homes	11	9		9	6		4	2		9	11		15	5	
Lower-Level Finish	2	2		2	3		5	2		2	5		1	5	
Fence	11	14		11	10		12	11		5	14		7	6	
Non-Residential (Comm/Ind)	0	5		0	7		2	8		1	4		3	5	
Other	33	16		35	16		30	25		13	20		14	14	
<b>Total Permits</b>	<b>57</b>	<b>46</b>	<b>0</b>	<b>57</b>	<b>42</b>	<b>0</b>	<b>53</b>	<b>48</b>	<b>0</b>	<b>30</b>	<b>54</b>	<b>0</b>	<b>40</b>	<b>35</b>	<b>0</b>
<b>Running Total</b>	<b>291</b>	<b>234</b>	<b>58</b>	<b>348</b>	<b>276</b>	<b>58</b>	<b>401</b>	<b>324</b>	<b>58</b>	<b>431</b>	<b>378</b>	<b>58</b>	<b>471</b>	<b>413</b>	<b>58</b>

	November			December		
	2023	2024	2025	2023	2024	2025
New Homes	5	5		1	0	
Lower-Level Finish	6	1		6	2	
Fence	7	7		2	2	
Non-Residential (Comm/Ind)	3	4		0	3	
Other Permits	15	8		5	6	
<b>Total Permits</b>	<b>36</b>	<b>25</b>	<b>0</b>	<b>14</b>	<b>13</b>	<b>0</b>
<b>Running Total</b>	<b>507</b>	<b>438</b>	<b>58</b>	<b>521</b>	<b>451</b>	<b>58</b>



	Permitted New Homes		
	2023	2024	2025
January	1	0	1
February	1	10	1
March	2	6	8
April	16	10	
May	9	4	
June	11	9	
July	9	6	
August	4	2	
September	9	11	
October	15	5	
November	5	5	
December	1	0	
<b>TOTAL</b>	<b>83</b>	<b>68</b>	<b>10</b>