

**City of Harrisburg Planning Commission
Agenda for March 11, 2025, Meeting at 6:00 P.M.
Heritage Board Room
200 E. Willow Street, Harrisburg, SD**

Call to Order and Roll Call

Approval of Agenda

Approval of the Meeting Minutes

1. Approve the draft minutes of the February 11, 2025 meeting.

Old Business

Public Comment on Non-Agenda Items

Public Hearings

1. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a Conditional Use Permit application to allow mini warehouses on the property legally described as Lot 3, Block 1, Flatiron Crossing Addition, Parcel # 270.62.66.4010 (Black Dog, LLC).
2. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a Conditional Use Permit application to allow a telecommunications tower on the property legally described as Tract 1, Slack High School Addition, except Lot 1 of Tract 1 and Lot H-1, Parcel # 270.73.00.100 (Verizon Wireless).
3. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding a request to rezone Lot 2, Block 1, of Rix Addition, Parcel 270.84.01.002 (1434 Mary Place) from R-3 Multi-Family Residential to GB General Business (S&Z, LLC)

New Business

1. Review for approval a Conditional Use Permit application to allow mini warehouses on the property legally described as Lot 3, Block 1, Flatiron Crossing Addition, Parcel # 270.62.66.4010 (Black Dog, LLC).
2. Review for approval a Conditional Use Permit application to allow a telecommunications tower on the property legally described as Tract 1, Slack High School Addition, except Lot 1 of Tract 1 and Lot H-1 Lot, Parcel # 270.73.00.100 (Verizon Wireless).
3. Review and recommendation to City Council a request to rezone Lot 2, Block 1, of Rix Addition, Parcel 270.84.01.002 (1434 Mary Place) from R-3 Multi-Family Residential to GB General Business (S&Z, LLC).
4. Review and recommendation to City Council: Plat for Tracts 1, 2, 3, & 4 of Dakota Farms Addition, Section 18, Township 99 North, Range 49 West and Pre-annexation agreement.
5. Review and recommendation to City Council the Preliminary Plan for Orchard's Edge Addition.
6. Review for approval an application to keep chickens at 615 Emmett Trail.

**City of Harrisburg Planning Commission
Agenda for March 11, 2025, Meeting at 6:00 P.M.
Heritage Board Room
200 E. Willow Street, Harrisburg, SD**

Administrative Reports and Commission Input

1. Commission input.
2. Building permit reports for February 2025.
3. Plats filed in February 2025
 - Lots 3, 4, 6A, 7A, and 9 in Block 1 and Lots 1, 2, 4, and 5 in Block 2 of the Whiskey Creek Addition

Adjournment

DRAFT

**City of Harrisburg Planning Commission
Draft Meeting Minutes for February 11, 2025,
Meeting at 6:00 P.M. Heritage Board Room
200 E. Willow Street, Harrisburg, SD**

Call to Order and Roll Call

The regular meeting of the City of Harrisburg Planning Commission was called to order by Vice-Chairperson Schipper at 6:00 p.m. on February 11, 2025. Commissioners Jon Kraft, Rob Doyen, Matthew Irish, Jim Nielsen, and Vice-Chairperson Jason Schipper, were present. In Bruce Bicknase's absence, Vice-Chair Jason Schipper is the acting-Chairperson. Chad Huwe and Jen Cleveland were present on behalf of City Planning & Zoning. Deputy City Administrator Heath VonEye and Nathan Gustafson were also present.

Approval of Agenda

Chairperson Schipper asked if there were any changes to the meeting agenda. Jen Cleveland requested to remove Items #2 and #4 from the agenda at the request of the applicant. A motion was made by Commissioner Doyen, seconded by Commissioner Irish, to approve the agenda with Items 2 & 4 removed. A voice vote was taken. Yeas: Kraft, Doyen, Irish, Nielsen, Schipper. Nays: None. Motion carried 5-0.

Approval of the Meeting Minutes

1. Approve the draft minutes of the January 14, 2025 meeting.

Chairperson Schipper asked if there were any changes to the meeting minutes of January 14, 2025. No revisions were presented. A motion was made by Commissioner Nielsen, seconded by Commissioner Doyen, to approve the meeting minutes. A voice vote was taken. Yeas: Kraft, Doyen, Irish, Nielsen, Schipper. Nays: None. Motion carried 5-0.

Old Business

No old business was discussed.

Public Comment on Non-Agenda Items

Deputy City Administrator Heath VonEye introduced himself as the new Harrisburg Deputy City Administrator.

Public Hearings

1. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding an application to rezone a portion of the SE1/4 of the SE1/4 of Section 26, Township 100 North, Range 50 West of the 5th Principal Meridian, Parcel # 270.62.66.4011. (Black Dog, LLC)

Chairperson Schipper opened the public hearing at 6:05 p.m. No public comment was received. Chairperson Schipper closed the public hearing at 6:06p.m.

2. A public hearing has been scheduled for 6:00 p.m. or shortly thereafter to accept public input regarding an application for an amendment to a Conditional Use Permit for an off-premises digital sign at 27249 SD Highway 115. (Cyclops Media)

Item was removed from the agenda.

New Business

3. Review and recommendation to the City Council an application to rezone a portion of the SE1/4 of the SE1/4 of Section 26, Township 100 North, Range 50 West of the 5th Principal Meridian, Parcel #

City of Harrisburg Planning Commission
Agenda for February 11, 2025, Meeting at 6:00 P.M.
Heritage Board Room
200 E. Willow Street, Harrisburg, SD

270.62.66.4011. (Black Dog, LLC)

Chad Huwe presented a summary of the application and staff report. Commissioner Doyen made a motion, seconded by Commissioner Irish, to recommend approval of the application to City Council. A voice vote was taken. Yeas: Kraft, Doyen, Irish, Nielsen, Schipper. Nays: None. Motion carried 5-0.

4. Review an application for an amendment to a Conditional Use Permit for an off-premise digital sign at 27249 SD Highway 115. (Cyclops Media)
Item was removed from the agenda.

Administrative Reports and Commission Input

1. Review proposed revisions to Harrisburg Zoning Regulations regarding billboards and electronic signs.
Jen Cleveland presented the Planning Commission with draft language for a zoning amendment to the Zoning Regulations regarding billboards and electronic message boards. Staff and Planning Commission members engaged in discussion. No action was taken.
2. Building permit reports for January 2025.
Jen Cleveland presented the issued building permit reports and the monthly comparison from previous years, highlighting that the number of issued permits in January 2025 were double the permits issued in 2023 and 2022.
3. Commission input.
Chad Huwe engaged the Planning Commission members in discussion regarding reduced lot width and side yard setbacks.
4. Plats filed in January 2025
 - None.

Adjournment

A motion to adjourn was made at 6:59 p.m. by Commissioner Doyen, seconded by Commissioner Nielsen. A voice vote was taken. Yeas: Kraft, Doyen, Irish, Nielsen, Schipper. Nays: None. Motion carried 5-0.



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032
PHONE: 605-743-5872

Agenda Item Staff Report

Date: March 11, 2025
To: Planning Commission
From: Planning and Building Services

Agenda Item:

A Conditional Use Permit application for mini warehouses on the property legally described as Lot 3, Block 1 of the Flatiron Crossing Addition to the City of Harrisburg, Lincoln County, South Dakota

Public Hearing:

Business Item:

Informational:

Information:

- The applicant is Dalton Allen of Black Dog LLC.
- The applicant proposes constructing four buildings to be used as heated storage units for personal or business use. The first phase would be the south buildings, and the second phase would be the north buildings.
- The buildings are 60 feet by 343 feet.
- The property is zoned LI (Industrial), and mini warehouses are a conditional use in LI zoning.
- The use-specific standards for mini warehouses are discussed in Section 5.17 of the Zoning Regulations and are as follows:
 - Mini warehouse buildings shall be at least one hundred feet from any existing or proposed residential district.
 - **The closest existing or proposed residential district is approximately 1,500 feet.**
 - The mini warehouse site shall be designed so that no mini warehouse overhead doors face a collector or arterial street.
 - **The overhead doors do not face a collector or arterial street.**
 - A landscape buffer and screening strip shall be provided as required in the approved Conditional Use Permit. Said buffer and screening strip shall consist of any combination of a berm, fencing, and vegetation which will provide a visual screen as deemed appropriate by the Planning Commission. Within R-2, R-3, GB, CB, LI, and HI districts, one tree per fifty feet of lot width is required. No more than twenty percent of the trees may be planted in the street right-of-way. No more than twenty-five percent of the required trees may be deciduous ornamental, evergreen, or coniferous trees. Each existing tree of at least 1 3/4-inch caliper in size shall count toward the tree requirement



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- **The applicant does not intend to install perimeter fencing for screening purpose. For security purposes, the applicant plans to connect to the existing camera/video system being used with the current storage units.**
- **The proposed site plan meets the city's landscaping requirements and tree planting requirements.**
- No more than one freestanding sign shall be allowed on any parcel with mini warehouse use.
 - **One freestanding sign is proposed.**
- Storage units within mini warehouse buildings shall not be used for manufacturing, retail or wholesale services, business services, or human or animal habitation.

Attachments:

Application
Site Plan Sheets
Use-Specific Standards and Responses
Notice of Public Hearing

Staff Recommendation:



**City of Harrisburg
Planning Services**

301 E. Willow St. Harrisburg, SD 57032
Phone: 605-743-5872

**CONDITIONAL
USE PERMIT
APPLICATION**

Application Date: 2/4/25

Applicant Name: Dalton Allen

Mailing Address: 48022 Timber Ridge Pl.

City/State/Zip: Harrisburg, SD 57032

Phone: 605 370 - 1043 Email: dalton@allenhomessd.com

Property Owner Name: (if different) Black Dog LLC

Property Owner's Mailing Address: same as above

City/State/Zip: _____ ↓ _____

Property Address or Legal description of the property: Lot 3 Blk 1

Flatiron Crossing Addition

Current zoning of the property: Light Industrial

Type of use requested: Mini-Warehouse (Storage Units) - Heated

- 4 Large Buildings - Single Sided w/ Windows + Architectural Detail
- Personal or Business Heated Storage - Not to Be Used as Workshops

This Application form must be accompanied by:

- A non-refundable application fee of \$300.00
- Detailed site plan
- Any other pertinent or requested information regarding the request

I/we hereby certify that the information I have provided is accurate and correct.

Dalton Allen
Applicant's signature

2-4-25
Date

Property Owner's signature

Date

Please submit completed application, detailed plans, and non-refundable fee payment to City Hall or via email to: buildingservices@harrisburgsd.gov

FOR CITY USE ONLY

Date received: _____ Permit # _____ Hearing Date: _____

Date sign posted: _____ Date of publication: _____



Scale: 1" = 300'



Overview 500 Flatiron Avenue
Harrisburg, South Dakota



3/7/2025 SEI#



PRELIMINARY DRAWINGS
(NOT FOR CONSTRUCTION USE)



Sheet Date
12.10.24

Job
24-164

Salesperson
AARON

Draftperson
SJR

BLACK DOG - 21 16X60
SIOUX FALLS, SD

REVISIONS

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| 12.17.24 | |
| 12.31.24 | |
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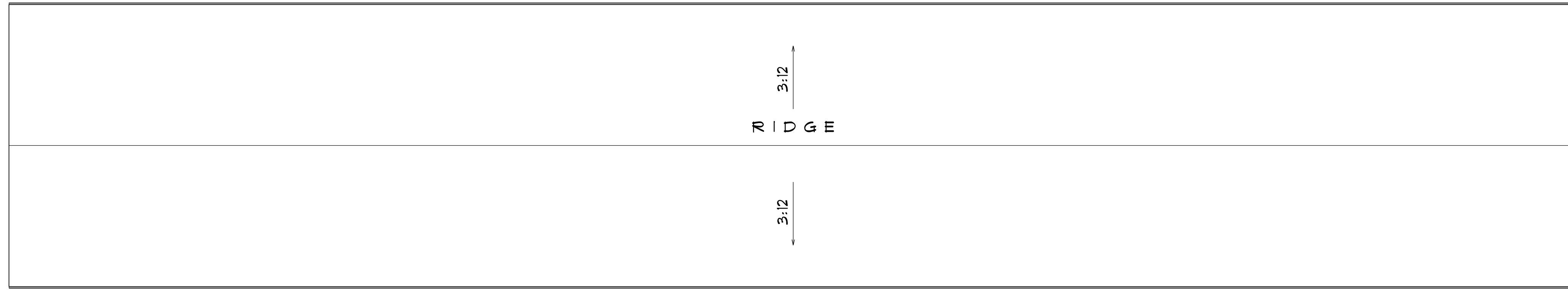


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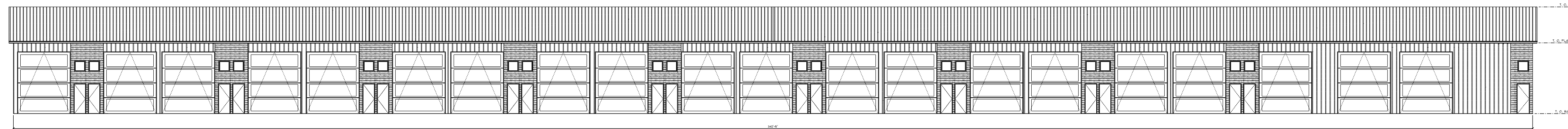
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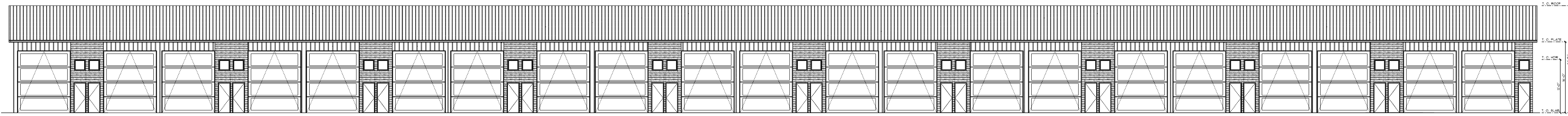
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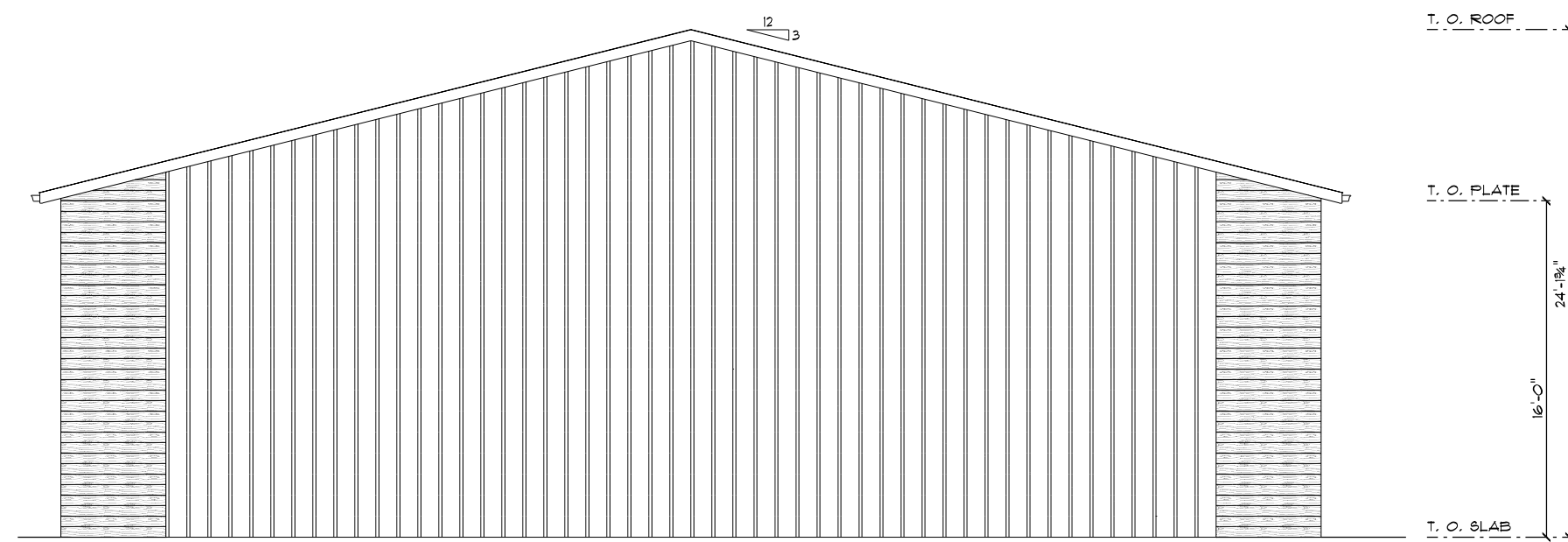
ROOF PLAN
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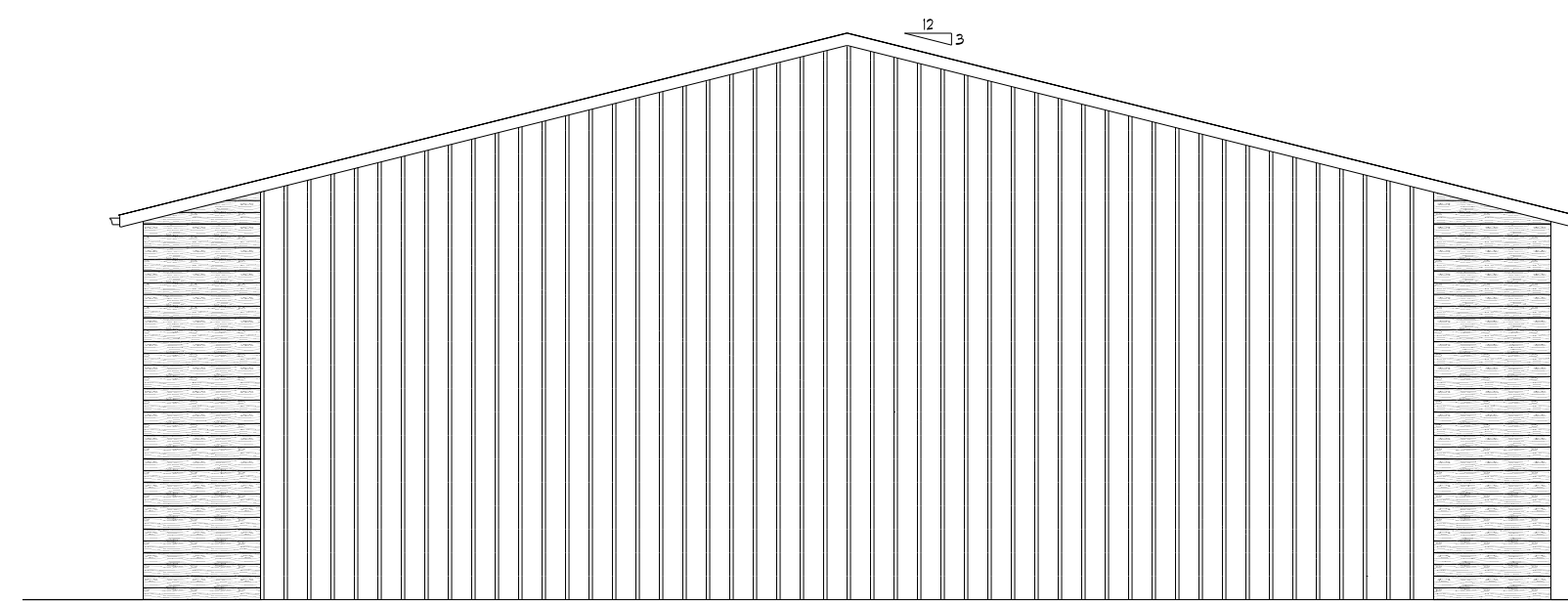
BLDG 1 - FRONT ELEVATION
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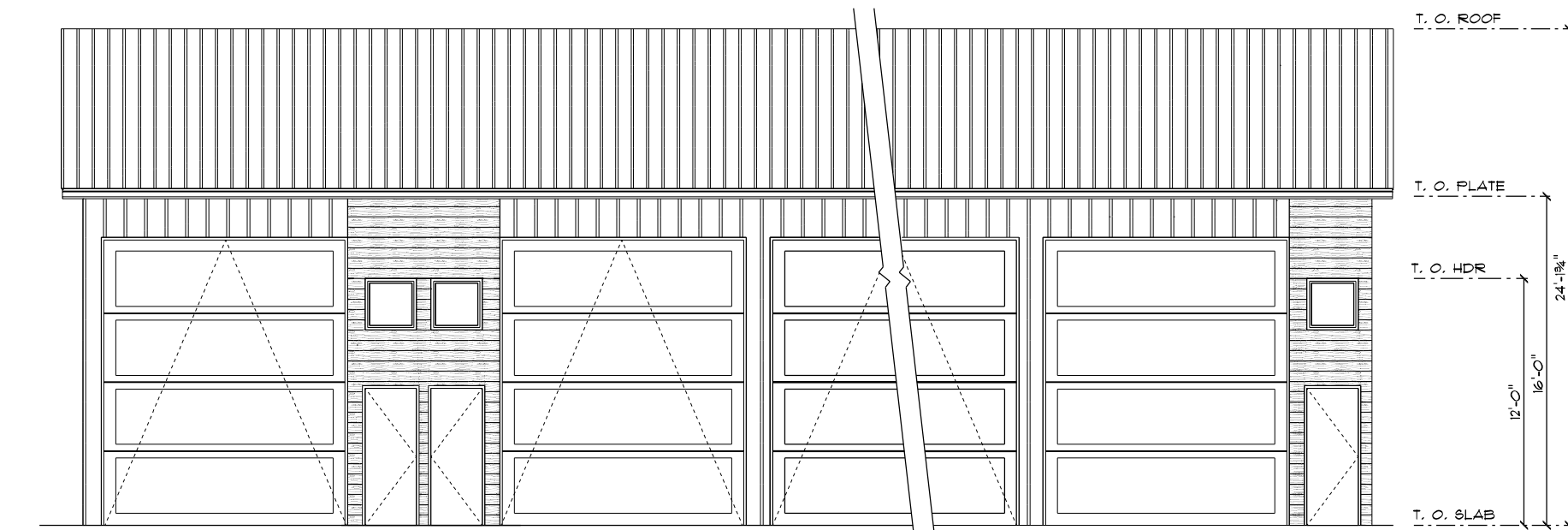
BLDG 2 - FRONT ELEVATION
SCALE: 1/16" = 1'-0"



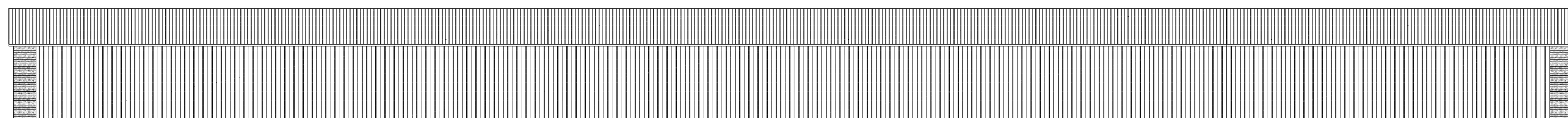
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION - UNIT
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/16" = 1'-0"

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| 12.31.24 | |
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BLACK DOG - 21 16X60
SIOUX FALLS, SD

Sheet Date
12.10.24
Job
24-164
Salesperson
AARON
Draftperson
SJR

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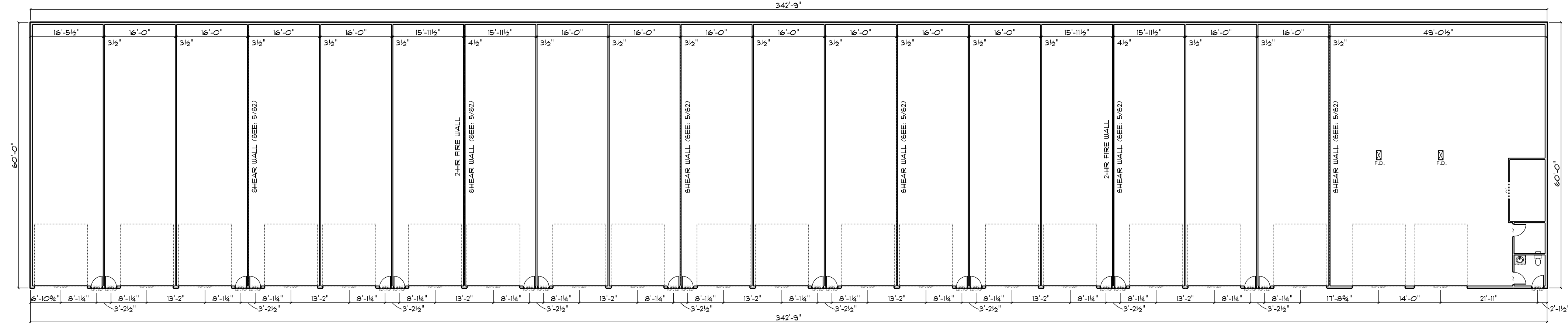
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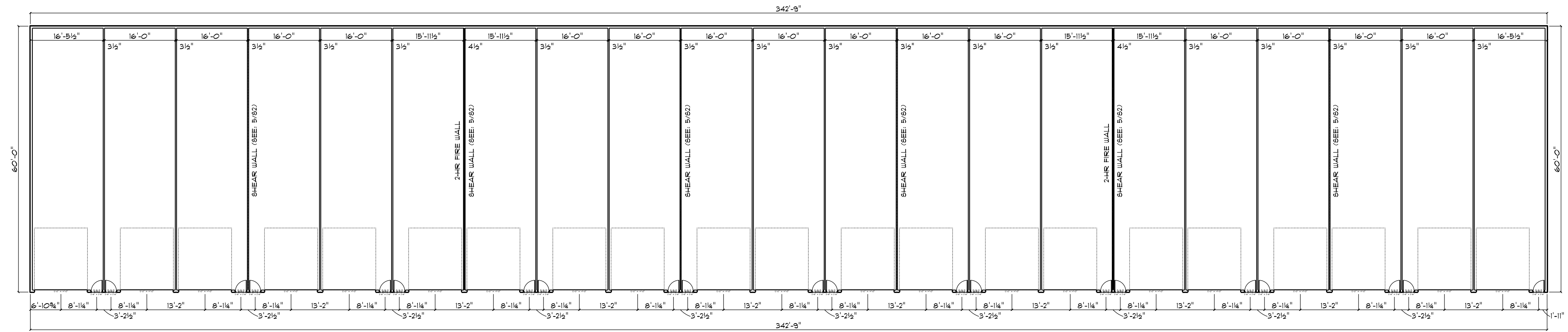
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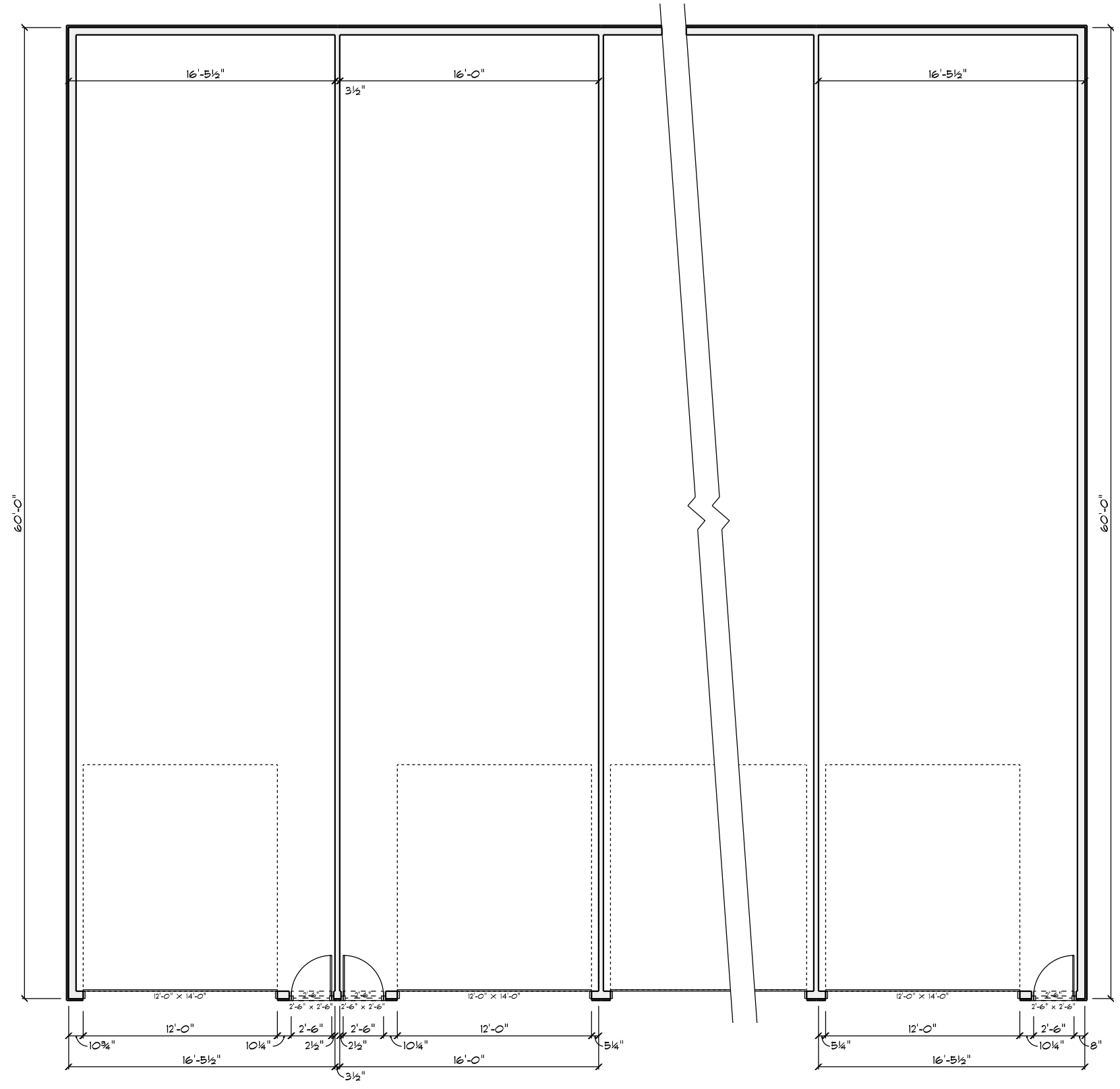
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| Sheet | Date |
| 24-164 | 12.10.24 |
| Salesperson | |
| AARON | |
| Draftsperson | |
| SJR | |



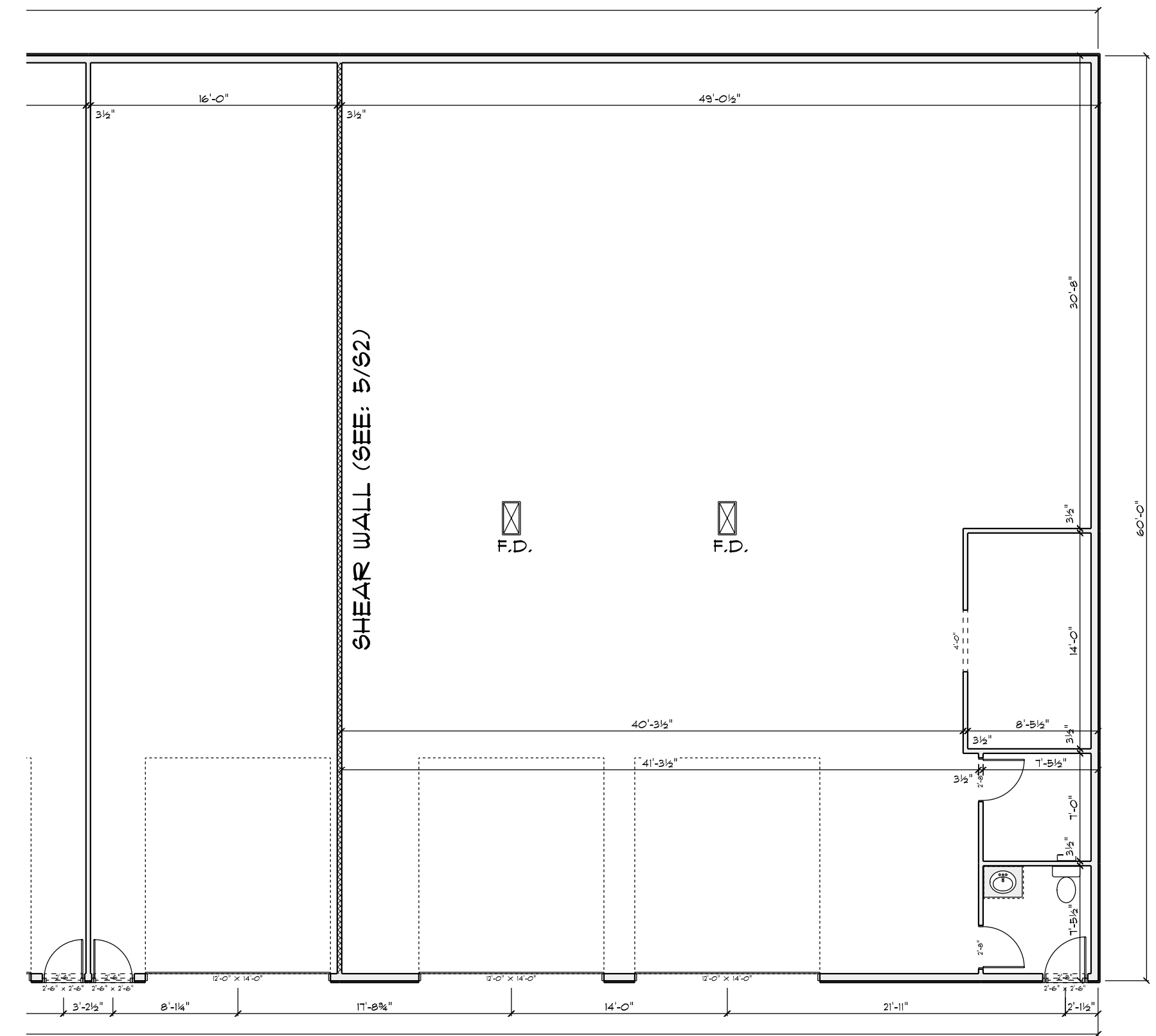
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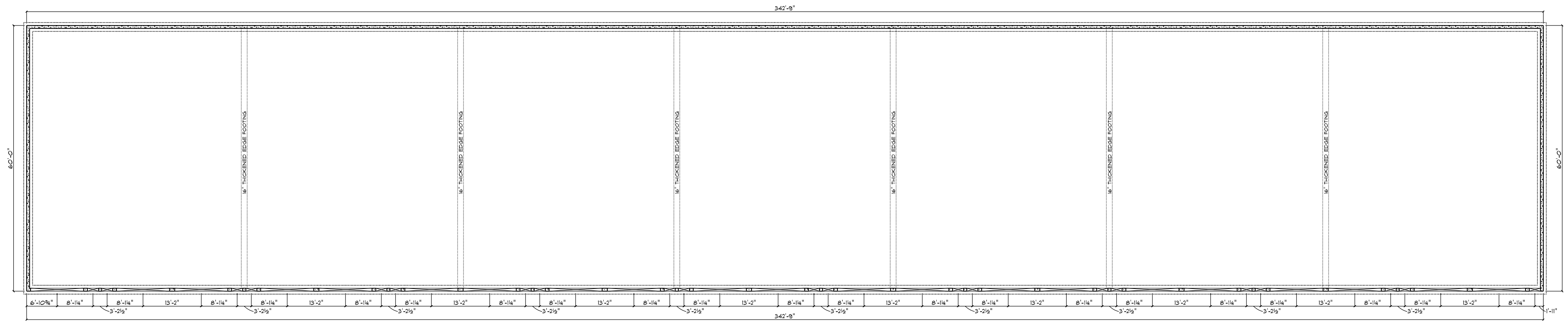
MAIN FLOOR - BLDG 2
SCALE: 1/16" = 1'-0"



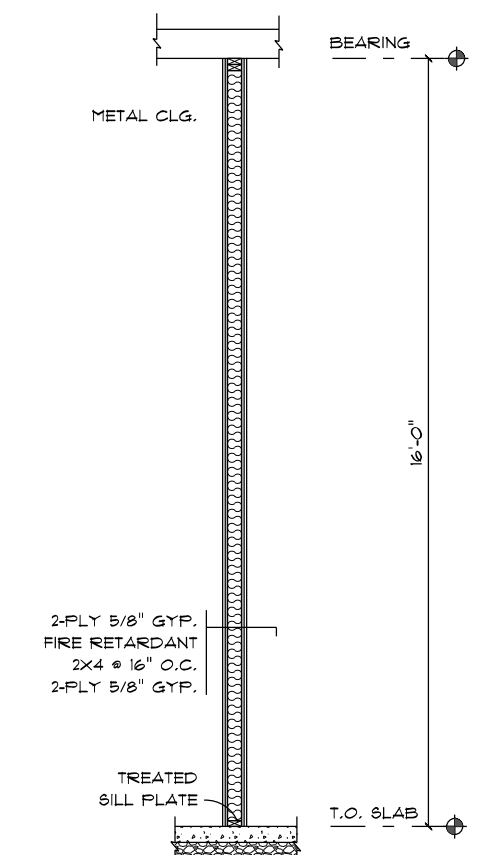
MAIN FLOOR - UNIT
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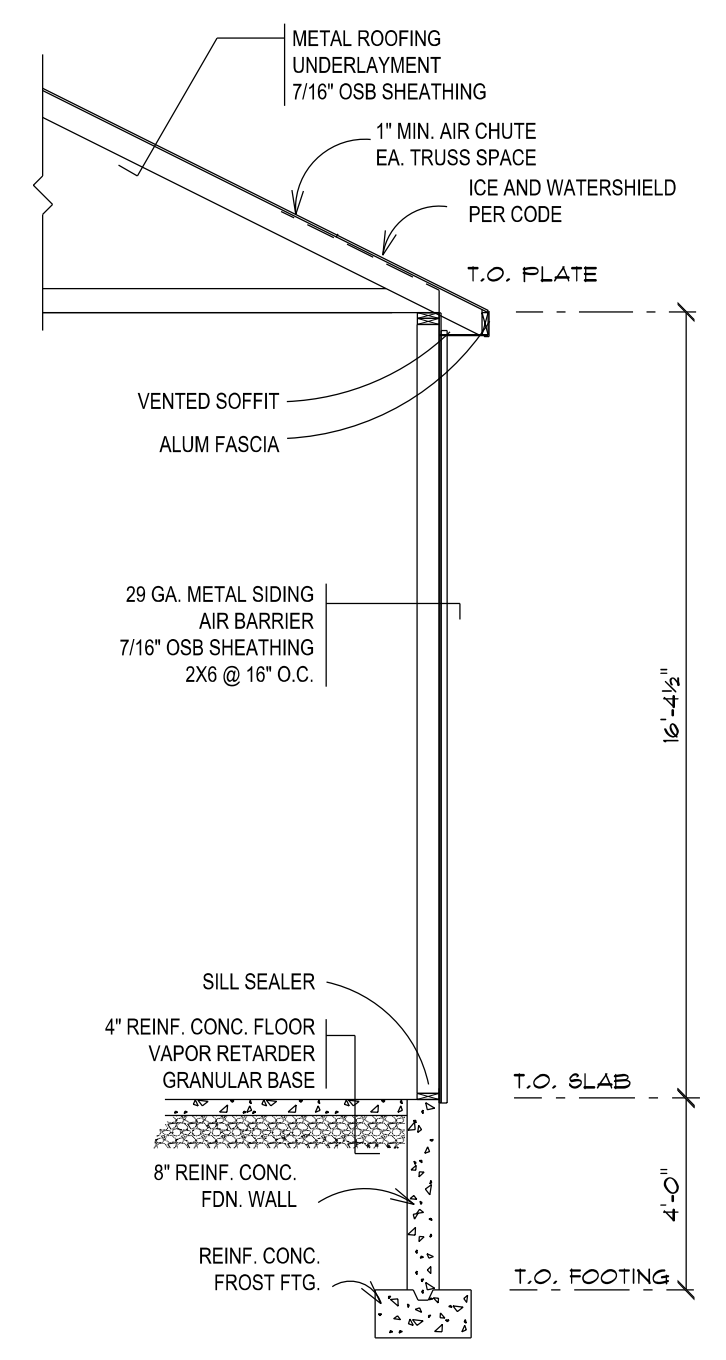
BLDG 1 - END UNIT
SCALE: 1/8" = 1'-0"



FOUNDATION
SCALE: 1/16" = 1'-0"



2-HR FIRE WALL
SCALE: 1/4" = 1'-0"



WALL SECTION
SCALE: 1/4" = 1'-0"

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BLACK DOG - 21 16X60
SIOUX FALLS, SD

Sheet Date
12.10.24
Job
24-164
Salesperson
AARON
Draftperson
SJR

SITE PLAN NOTES:

OWNER:
BLACK DOG, LLC

STREET ADDRESS:
1025 N. CLIFF AVENUE, HARRISBURG, SD 57032

LEGAL DESCRIPTION:
LOT 3, BLOCK 1 FLATIRON CROSSING ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SD CONTAINING: 5.2± ACRES

PROPOSED BUILDING SETBACKS:

FRONT 25'
SIDE 10'
REAR 20'
HEIGHT 45'

ZONING DISTRICTS
(L1) LIGHT INDUSTRIAL DISTRICT
USE - MINI WAREHOUSE (CONDITIONAL USE REQUIRED)

DATE OF SURVEY:
10-24-2023

FENCING/SCREENING REQUIREMENT:
THE DEVELOPER DOES NOT INTEND TO INSTALL PERIMETER FENCING FOR SCREENING OR SECURITY PURPOSES. FOR SECURITY PURPOSES THE DEVELOPER PLANS TO CONNECT TO THE EXISTING CAMERA/VIDEO SYSTEM BEING UTILIZED WITH THE CURRENT STORAGE UNITS.

LANDSCAPING REQUIREMENT:
A LANDSCAPING STRIP WITH A MINIMUM WIDTH OF FIVE FEET SHALL BE LOCATED BETWEEN THE PARKING LOT AND THE ADJOINING LOT LINES.

PROPOSED SITE MEETS THIS REQUIREMENT.

TREE & PLANTING REQUIREMENTS:
ONE TREE PER FIFTY FEET OF LOT WIDTH IS REQUIRED. NO MORE THAN TWENTY PERCENT OF THE TREES MAY BE PLANTED IN THE STREET RIGHT-OF-WAY. NO MORE THAN TWENTY PERCENT OF THE REQUIRED TREES MAY BE DECIDUOUS ORNAMENTAL, EVERGREEN, OR CONIFEROUS TREES. EACH EXISTING TREE OF AT LEAST 1 3/4-INCH CALIPER IN SIZE SHALL COUNT TOWARD THE TREE REQUIREMENT.

ONE SHADE TREE FOR EVERY FIFTY FEET OF LOT PERIMETER IN THE LANDSCAPE STRIP.

REQUIRED NUMBER OF TREES: 21 TREES FOR 1,051' ± OF STREET FRONTAGE
7 TREES FOR 346' ± OF LOT PERIMETER
28 TREES TOTAL REQUIRED

PROVIDED NUMBER OF TREES: 28 TREES (SEE TREE SCHEDULE BELOW)

| TREE SCHEDULE | | | | | |
|---------------|-----|-----|---------------------|--------|------|
| LOCATION | KEY | QTY | COMMON NAME | SIZE | ROOT |
| SEE PLAN | AB | 9 | AUTUMN BLAZE MAPLE | 2" CAL | B&B |
| SEE PLAN | LL | 9 | LITTLE LEAF LINDEN | 2" CAL | B&B |
| SEE PLAN | KC | 10 | KENTUCKY COFFEETREE | 2" CAL | B&B |

FIRE ACCESS & FIRE COVERAGE:
FIRE ACCESS PROVIDED BY THE PROPOSED SURFACING & 47'± WIDE DRIVE AISLE IN THE PARKING LOT.

EXISTING AND PROPOSED FIRE HYDRANTS TO BE INSTALLED WITH ANOTHER PROJECT WILL PROVIDE ADEQUATE COVERAGE.

STORM WATER DETENTION AND WATER QUALITY:
THE SITE DRAINS TO AN EXISTING DETENTION POND LOCATED IN LOT 1, BLOCK 1.

FEMA FLOODPLAIN & WETLANDS:
LINE INDICATED ON FIRM PANEL 46099C0477D (EFFECTIVE 9/2/2009) AS ZONE AE. LOMR 10-08-0604P (EFFECTIVE 3/17/2011).

NO WETLANDS ARE WITHIN THE PROJECT LIMITS.

AMERICANS WITH DISABILITIES ACT (ADA):
ANY PEDESTRIAN PATHWAYS OR SIDEWALKS INSTALLED ON OR ADJACENT TO THIS SITE DEVELOPMENT SHALL BE FULLY ADA COMPLIANT. ALL SIDEWALK SHALL COMPLY WITH ADA STANDARDS. MAXIMUM CROSS SLOPE OF 2% (1:50) AND MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20). ALL SW RAMP SHALL BE LESS THAN 8.33% (1:12).

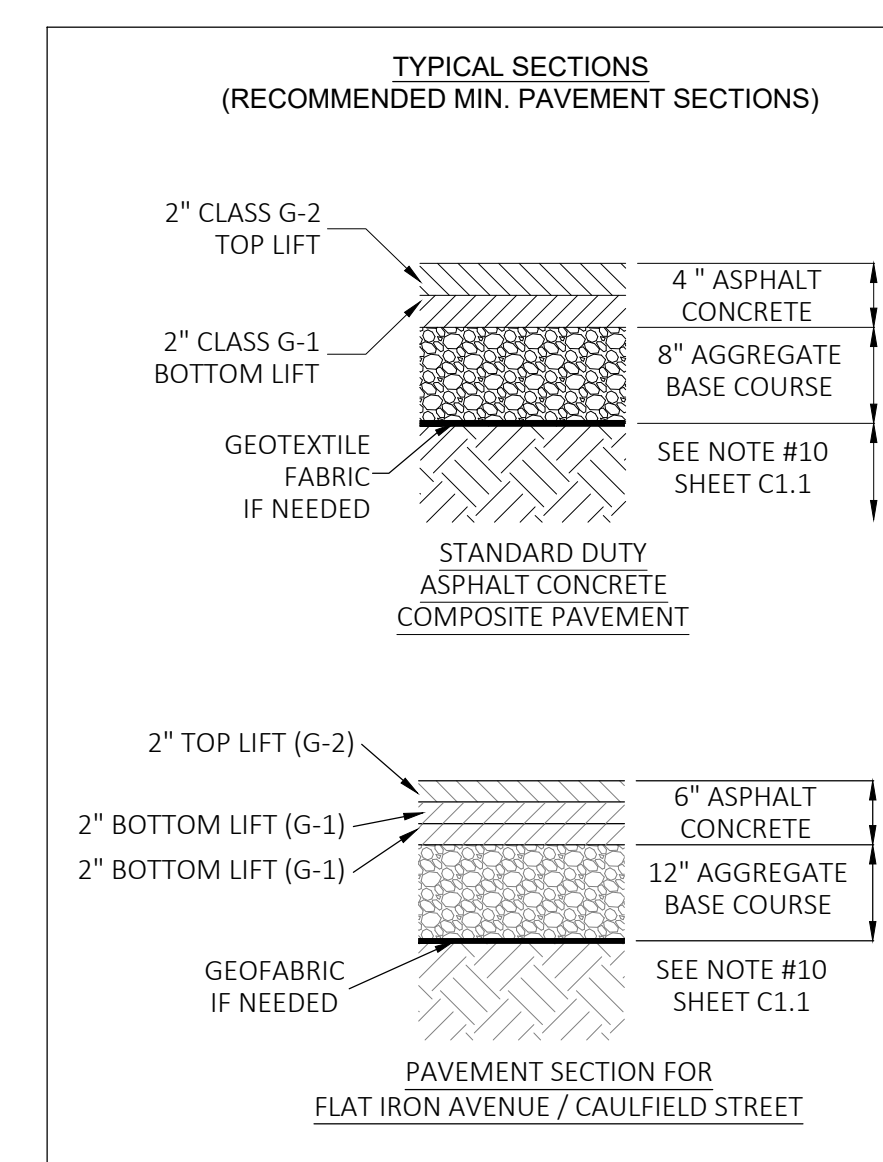
ANY SECTIONS OF SIDEWALK FOUND TO BE OUT OF COMPLIANCE WILL BE REMOVED AND REPLACED. THERE ARE NO CONSTRUCTION TOLERANCES ON MAXIMUM OR MINIMUM GRADES. FOR EXAMPLE, THE CONTRACTOR MAY WANT TO SET SIDEWALK FORMS AT A 1.5% CROSS SLOPE TO FALL UNDER THE 2% MAXIMUM SIDEWALK CROSS SLOPE.

| KEYNOTES | |
|----------|-----------------------------------------------------------------------------------------------------|
| ① | 4" YELLOW PAVEMENT MARKING PAINT |
| ② | 4' WIDE VALLEY GUTTER |
| ③ | CURB & GUTTER AND ADA SIDEWALK RAMP INSTALLATION TO BE DONE WITH SEPARATE STREET & UTILITY PROJECT. |
| ④ | 5' WIDE CURB TAPER |

MISC. SITE NOTES

- SITE DIMENSIONS: ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB, UNLESS NOTED. ALL DIMENSIONS ARE TO EDGE OF BUILDING FOUNDATION WALL UNLESS NOTED.
- LANDSCAPE PLAN: SEE SITE PLAN & FINAL EROSION CONTROL PLAN.
- SURFACING: SEE TYPICAL SECTIONS ON SHEETS C1.2.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONS, LIGHTING PLANS, TRASH ENCLOSURE DETAILS, & LANDSCAPING.

| LEGEND | |
|----------|----------------------------------|
| [Symbol] | = STANDARD DUTY ASPHALT CONCRETE |
| [Symbol] | = PCC PAVEMENT |
| [Symbol] | = AGGREGATE SURFACING |
| [Symbol] | = STANDARD TREE - TBD |
| [Symbol] | = STANDARD TREE - TBD |
| [Symbol] | = STANDARD TREE - TBD |
| [Symbol] | = FINISHED FLOOR ELEVATION |
| [Symbol] | = GARAGE SILL ELEVATION |
| [Symbol] | = FRONT YARD SETBACK |
| [Symbol] | = REAR YARD SETBACK |
| [Symbol] | = SIDE YARD SETBACK |



PRELIMINARY
NOT FOR CONSTRUCTION

ISA ENGINEERS AND LAND SURVEYORS
6810 S. Lynch Road, Suite 101
Sioux Falls, South Dakota 57105-9119
P: 605-337-1020 F: 605-337-1022
Land Development/Managerial Streets Water Sewer GPS Construction Staking

LOT 3, BLOCK 1
FLATIRON CROSSING ADDITION

CIVIL SITE LAYOUT

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| | |
|----------------------|-----------|
| Project No. 70173.12 | Revisions |
| Date: 7-23-24 | |
| Drawn By: TVV | |

C1.2



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032
PHONE: 605-743-5872

Agenda Item Staff Report

Date: March 11, 2025
To: Planning Commission
From: Planning and Building Services

Agenda Item:

A Conditional Use Permit application for a telecommunications facility on the property legally described as Tract 1, Slack High School Addition, except Lot 1 of Tract 1 and Lot H-1, Section 35, Township 100 North, Range 50 West of the 5th Principal Meridian (Parcel ID: 270.73.00.100)

Public Hearing:

Business Item:

Informational:

Information:

- The applicant is Verizon Wireless Communications.
- The applicant proposes constructing a 99-foot wireless telecommunications monopole tower on the east side of the high school campus.
- The property is zoned R-2 (Low Density Residential), and a telecommunications facility is a conditional use in R-2 zoning.
- The use-specific standards for a telecommunications facility are discussed in Section 5.22 of the Zoning Regulations are addressed in the attachments.

Attachments:

Application
Site Plan Sheets
Use-Specific Standards and Responses
Notice of Public Hearing

Staff Recommendation:

Staff recommends approval with the condition that a building permit is issued prior to the start of construction.



**City of Harrisburg
Planning Services**

301 E. Willow St. Harrisburg, SD 57032
Phone: 605-743-5872

**CONDITIONAL
USE PERMIT
APPLICATION**

Application Date: 1/28/2025

Applicant Name: Verizon Wireless Communications _____

Mailing Address: 10801 Bush Lake Road _____

City/State/Zip: Bloomington MN 55438 _____

Phone: 515-299-0736 _____ Email: jeffreyskinner@nevcowireless.com _____

Property Owner Name: (if different) Harrisburg School District _____

Property Owner's Mailing Address: 200 East Willow Street _____

City/State/Zip: Harrisburg SD 57032 _____

Property Address or Legal description of the property: Parcel:270.73.00.100 _____

TRACT NO.1 SLACK HIGH SCHOOL ADD (EX LOT 1 OF TRACT 1 & LOT H-1) CITY OF

Current zoning of the property: R-2 _____

Type of use requested: Construction of 99' wireless telecom monopole tower and associated equipment Cabinets.

This Application form must be accompanied by:

- A non-refundable application fee of \$300.00
- Detailed site plan
- Any other pertinent or requested information regarding the request

I/we hereby certify that the information I have provided is accurate and correct.

Jeffrey Skinner
Applicant's signature

1-28-2025
Date

[Signature]
Property Owner's signature

1-28-25
Date

Please submit completed application, detailed plans, and non-refundable fee payment to City Hall or via email to: buildingservices@harrisburgsd.gov

FOR CITY USE ONLY

Date received: _____ Permit # _____ Hearing Date: _____

Date sign posted: _____ Date of publication: _____



1 AERIAL KEY

NOT FOR
CONSTRUCTION

DESIGN
1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT
00210688.C.9136
LOC. CODE: 385855

SD09
WEST
HARRISBURG

E. WILLOW ST.
HARRISBURG, SD 57032

SHEET CONTENTS:
PHOTO SIMULATIONS

DRAWN BY: MJS
CHECKED BY: JP/TJR
v.1 05-28-24

PS-0



1 EXISTING PHOTO

NOT FOR
CONSTRUCTION

DESIGN
1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
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SD09
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SHEET CONTENTS:
PHOTO SIMULATIONS

DRAWN BY: MJS
CHECKED BY: JP/TJR
v.1 05-28-24

PS-1A



1 PROPOSED IMAGE

NOT FOR
CONSTRUCTION

DESIGN 1

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(952) 903-9299
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SD09
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HARRISBURG

E. WILLOW ST.
HARRISBURG, SD 57032

SHEET CONTENTS:
PHOTO SIMULATIONS

| | |
|-------------|----------|
| DRAWN BY: | MJS |
| CHECKED BY: | JP/TJR |
| v.1 | 05-28-24 |

PS-1B



1 EXISTING PHOTO

NOT FOR
CONSTRUCTION



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SHEET CONTENTS:
PHOTO SIMULATIONS

DRAWN BY: MJS
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v.1 05-28-24

PS-2A



1 PROPOSED IMAGE

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CONSTRUCTION

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E. WILLOW ST.
HARRISBURG, SD 57032

SHEET CONTENTS:
PHOTO SIMULATIONS

DRAWN BY: MJS
CHECKED BY: JP/TJR
v.1 05-28-24

PS-2B

Verizon Wireless Zoning Application Harrisburg High School Project

5.22 TELECOMMUNICATIONS FACILITIES. Telecommunications facilities shall comply with the following use-specific standards:

A. Telecommunications facilities shall not be located within a Flood Hazard Area. **The proposed site is not located in a flood hazard rea**

B. All proposed support structures shall be designed to be the minimum height needed to meet the service objectives of the applicant. The maximum height of a telecommunications facility shall be no more than one hundred feet above the pre-construction level of the grade adjacent to the support structure location. The height shall be an exception to the Zoning District's maximum structure height. However, a variance may be granted to allow a maximum height of up to one hundred fifty feet if the applicant's professional engineer certifies in writing that such a height is the sole viable option available to site the facility within municipal limits; **The proposed site has been designed to meet the minimum requirements of the project design criteria. In addition, the proposed site is designed to support up to three additional providers for future use.**

C. The minimum setback distance between each support structure and all surrounding properties lines, overhead utility or transmission lines, other telecommunication facilities, wind turbine towers, electrical substations, public roads, and dwelling units shall be equal to no less than 1.1 times the system height (measured from the grade adjacent to the tower pad to the highest system component, including antennae); **The proposed site is located 220' from the nearest property line and 269' to the nearest dwelling unit.**

D. The building permit application for a telecommunications facility shall include structure plans prepared by a professional engineer and a certification by a professional engineer that the structure has been designed to withstand the wind, snow, and ice loads typical of this area. The building permit application shall show the number and type of proposed antennae and their height above ground level, including the proposed placement of antennae on the support structure; Zoning Regulations 55 **The submitted construction drawings depict the requirements noted in the ordinance and are stamped by a professional engineer. In addition, the building permit application will include a certified stamped structural analysis.**

E. Telecommunication facilities shall be collocated if feasible. If collocation is not feasible, the applicant shall submit a written certification of why collocation is not a viable option and that explains the alternatives considered and why those alternatives were either unacceptable or infeasible due to technical, physical, or financial reasons. If an existing

support structure is listed among the alternatives, the applicant must specifically address why the support structure is not a viable option. **See submitted statement from Verizon RF. There are no existing antenna support structure of the required height within one mile of the proposed site other than the city owned water tank located to the north. The City of Harrisburg has indicated via written response that the water tank is not available for wireless providers.**

F. The application for a new support structure shall be accompanied by a letter stating that the proposed support structure will be made available for collocation to other service providers at commercially reasonable rates; **See attached letter and CDs to support design of monopole to support additional providers. See cover page for tower profile.**

G. A proposed telecommunications facility support structure intended to be built as a monopole shall accommodate at least three telecommunications providers, and have a site area surrounding the tower of sufficient size to accommodate accessory equipment for at least four telecommunications providers' **See attached CDs**

H. All ground- or pad-mounted electrical and control equipment shall be labeled and secured to prevent unauthorized access; **All ground based equipment shall be fenced from public access as noted on the submitted CDS pages. See pages A-2 and A-3**

I. All accessory equipment, including any buildings, cabinets, or shelters, shall be used only to house equipment and other supplies in support of the operation of the telecommunications facility or support structure. Any equipment not used in direct support of such operation shall not be stored on the site; **Proposed site will adhere to zoning ordinance as noted above.**

J. All telecommunication facilities shall comply with the setback and yard requirements of their Zoning District. They may be located on a parcel containing another principal use on the same site; **Proposed site meets with the requirements as noted in the zoning ordinance**

K. The visual impact of all accessory equipment above ground level shall be mitigated by fencing or landscaping. A site plan shall be submitted with the building permit application. Fencing and landscaping materials shall be installed and maintained in a workman-like manner. **Page A-2 of the CDs notes the type of fencing as white vinyl fencing and page A-3 of the CDs notes the landscaping plans.**

L. All signs, other than the manufacturer's or installer's identification, appropriate warning signs, or owner identification on any telecommunication facility structure that is visible from any public road shall be prohibited; **There are no proposed signs other than required by law as noted in the ordinance.**

M. All electrical wires associated with a telecommunications facility shall be buried underground; **All proposed electrical services are buried underground as noted on the CDs pages A-2 and U-1**

N. A telecommunication facility support structure shall be designed and installed so as to not provide step bolts or a ladder readily accessible to the public for a minimum height of eight feet above adjacent grade; Zoning Regulations 56 **Proposed design supports requirements noted in ordinance**

O. A telecommunications facility shall not be artificially lighted unless such lighting is required by the Federal Aviation Administration; **The proposed site does not require any lighting as determined by the FAA**

P. A telecommunications facility shall comply with all applicable state and local construction and electrical codes and the National Electrical Code; **See submitted CDS for requirements noted in ordinance**

Q. A telecommunications facility shall not be installed until evidence has been provided to the Planning & Zoning Administrator that the FAA has been informed of the applicant's intent to install the facility; **The applicant is required to file form 7460-2 prior to construction and this site will adhere to those requirements. In addition please see the submitted FAA notice that indicates the proposed site is below the notice criteria and no further FAA filing is required.**

R. A telecommunications facility that is out-of-service for a continuous twelve-month period will be deemed to have been abandoned. As such, it shall be deemed a public nuisance; **Verizon understands the provisions of the ordinance and has no concerns**

S. A COW may be placed at any location within the City without a Conditional Use Permit or building permit for not more than one hundred twenty days from the date of a declaration of an emergency by the Mayor; and **No COW is proposed at this time.**

T. A COW may be placed at any location within the City without a Conditional Use Permit or building permit for not more than fourteen days to serve a community event declared as such by the Council. **No COW is proposed at this time**



VZW SD09 West Harrisburg

To whom it may concern:

Per the requirements of the City of Harrisburg Zoning Ordinance Verizon Wireless has designed the proposed 99' monopole to meet the criteria noted in the zoning ordinance to allow for up to three additional wireless providers.

Regards

A handwritten signature in black ink that reads "Jerry Haffield". The signature is written in a cursive style with a large, looping initial "J".

Jerry Haffield

Verizon Wireless Radio Frequency Engineer



June 12th, 2024

Re: Collocation Exclusion - Proposed Verizon Wireless Communication Tower-SD09 West Harrisburg

To: City of Harrisburg Planning & Zoning Commission

Verizon Wireless cares about the communities as well as the environment and prefers to collocate on existing structures when available. We prefer collocation due to reduced construction costs, faster deployment, and environment protection. However, Verizon Wireless was unable to find a suitable structure close enough to the population center and demand area to collocate on in the rapidly growing developments on the western edge of Harrisburg, SD.

Verizon Wireless Radio Frequency Engineers establish search area criteria in order to effectively meet coverage objectives as well as offload existing Verizon Wireless cell sites. This provides uninterrupted communication throughout the coverage area. Cell sites are placed in a way, so they provide smooth hand off to each other and are placed at some distance from each other to eliminate too much overlap. Too much overlap may result in a waste of resources and raise a system capacity overload concern. All options to collocate on an existing structure that would meet the network requirements were exhausted and thus the Zoning request to approve the construction of a new tower on the Campus of Harrisburg High School is being presented.

An attachment is included with this memo that is a map of all existing structures in the immediate area that can be used as wireless communications structures. Those structures are labeled 1 through 4 on the map and below is a discussion that details the reasons that they are disqualified as a potential opportunity for Verizon to collocate their equipment for a new cell site.

1. City of Harrisburg water tank. Verizon has been told by the City of Harrisburg that this tank is not available for collocation.
2. Crown Castle 157' Self Support tower. This structure is only 800' directly north of our existing cell site in Harrisburg or 1.0 mile east northeast of the proposed site and does not meet the objectives of this project which are to improve service in and around the west edge of Harrisburg.
3. City of Harrisburg water tank (located at TCC Materials at 101 Industrial Road.. The existing cell site that Verizon has in Harrisburg is already located on this tank.
4. Sioux Falls PCS 187' monopole tower. Once again, this particular structure does not meet the objective of this project to improve service on the west side of Harrisburg given that it is almost 1.5 miles away from the targeted area for our new cell site build.



Thank you for the opportunity to discuss the list of other structures within Harrisburg that can be used as wireless communication support structures however for the reasons listed above, are not suitable for this current project.

Please do not hesitate to reach out to me if there are any questions or concerns regarding the information I have provided above. My email address is jerry.haffield@verizonwireless.com.

Regards,

A handwritten signature in black ink that reads "Jerry Haffield". The signature is written in a cursive, flowing style.

Jerry Haffield
Verizon Wireless

verizon

SD09 WEST HARRISBURG NEW BUILD

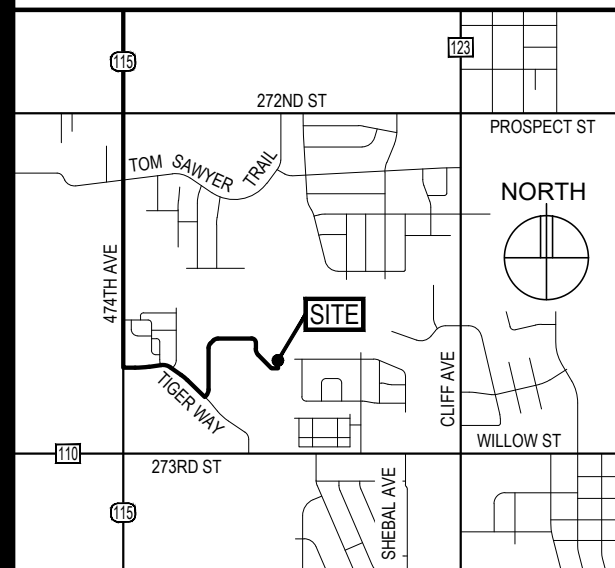
PROJECT INFORMATION

SITE NAME: SD09 WEST HARRISBURG
 SITE ADDRESS: E. WILLOW ST.
 HARRISBURG, SD 57032
 COUNTY: LINCOLN
 LATITUDE: N 43° 26' 07.59"
 LONGITUDE: W 96° 43' 06.37"
 DRAWING BASED ON
 RFDS DATED: 01-05-24
 CONSTRUCTION TYPE: IIB
 SITE AREA: 20'-0" X 20'-0" = 400 S.F.

SHEET INDEX

| SHEET | SHEET DESCRIPTION |
|-------|----------------------------------------------------|
| T-1 | PROJECT INFORMATION, TOWER ELEVATION & SHEET INDEX |
| A-1 | SITE PLAN, DETAIL INDEX & PHOTO |
| A-2 | ENLARGED SITE PLAN |
| A-3 | LANDSCAPING PLAN & KEY, PLANTING DETAIL |
| A-4 | ANTENNA AND COAX KEY, CABLE BRIDGE PLAN & NOTES |
| A-5 | OUTLINE SPECIFICATIONS |
| G-1 | GROUNDING NOTES |
| G-2 | GROUNDING PLAN & GROUNDING DETAIL INDEX |
| U-1 | SITE UTILITY PLANS & NOTES |
| - | SURVEY (2 SHEETS) |

VICINITY MAP



MAP DATA ©2023 GOOGLE

LOCATION SCAN



ISSUE SUMMARY

| REV | DESCRIPTION | SHEET/DETAIL |
|-----|-----------------------------------|--------------|
| A | ISSUED FOR REVIEW 05-03-24 | ALL |
| B | ISSUED FOR OWNER SIGNOFF 05-09-24 | ALL |
| | | |
| | | |
| | | |

DEPARTMENTAL APPROVALS

| JOB TITLE | NAME | DATE |
|-----------------------|----------------|----------|
| RF ENGINEER | JERRY HAFFIELD | 05-05-24 |
| OPERATIONS MANAGER | | |
| CONSTRUCTION ENGINEER | PETER SHANNON | 05-03-24 |

LESSOR / LICENSOR APPROVAL

| SIGNATURE | PRINTED NAME | DATE |
|-----------|--------------|------|
| | | |

LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW

NO CHANGES. CHANGES NEEDED. SEE COMMENTS.

CONTACTS

LESSOR / LICENSOR: TIM GRAF
 200 E WILLOW ST, PO BOX 187
 HARRISBURG, SD 57032
 (605) 743-2567 x3002

LESSEE: VERIZON WIRELESS
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 CONSTRUCTION DEPT (952) 946-4700

POWER UTILITY COMPANY CONTACT: SOUTHEASTERN ELECTRIC COOPERATIVE
 501 SOUTH BROADWAY AVE
 MARION, SD 57043
 TONY PETERS (605) 904-4181

TELCO UTILITY COMPANY CONTACT: T.B.D.

DESIGNER: DESIGN 1 OF EDEN PRAIRIE
 9973 VALLEY VIEW ROAD
 EDEN PRAIRIE, MN 55344
 (952) 903-9299

SURVEYOR: WIDSETH
 610 FILLMORE STREET - PO BOX 1028
 ALEXANDRIA, MN 56308-1028
 320-762-8149

STRUCTURAL ENGINEER: T.B.D.

GEOTECHNICAL ENGINEER: T.B.D.

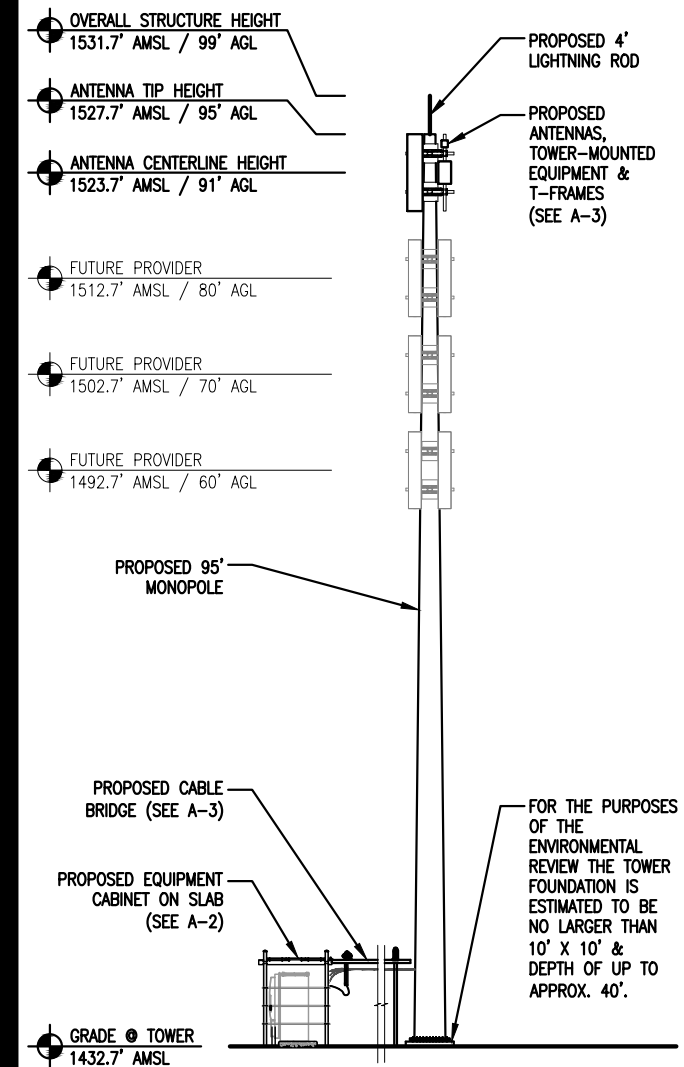
NOTES:

- THESE DRAWINGS DO NOT CONSTITUTE A WARRANTY, EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE STRUCTURAL ANALYSES AND THE PERFORMANCE OF THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DOCUMENTS AND THE STRUCTURAL ANALYSES.
- NO STRUCTURAL ANALYSIS FOR THE TOWER, MOUNTS OR FOUNDATION HAVE BEEN PERFORMED AS PART OF THESE DRAWINGS. THE STRUCTURAL ANALYSIS FOR THE TOWER AND FOUNDATION ARE BY THE TOWER SUPPLIER AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT.
- PLEASE COORDINATE ANY STRUCTURAL CONCERNS/MATTERS OR ANY LOADING MODIFICATIONS TO THE CONSULTANT WHO AUTHORED THE ANALYSIS AND NOTIFY DESIGN 1 IMMEDIATELY OF THE ISSUE.
- TOWER FOUNDATION, EQUIPMENT SLAB, GENERATOR FOUNDATION, AND THE ACCESS DRIVE TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE DESIGNER.

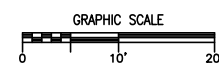
TOWER ELEVATION

NOTES:

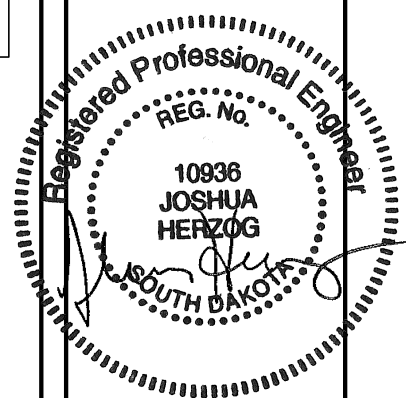
- TOWER TO BE ERECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN TOWER DRAWINGS AND DESIGNER DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE DESIGNER IMMEDIATELY.
- CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.
- ELEVATION IS SHOWN FOR GENERAL DIAGRAMMATIC PURPOSES ONLY. DO NOT SCALE.
- THE STRUCTURAL DESIGN FOR THE MOUNTS (BY OTHERS) SHALL BE PER THE VERIZON NETWORK STANDARD NSTD-445. ALL LOADING AND DESIGN SHALL BE PER THE TIA-222-H STANDARD.



1 EAST ELEVATION
 SCALE: 1" = 20'-0"



HERZOG ENGINEERING
 1334 81ST AVE NE
 SPRING LAKE PARK, MN 55432
 (612) 844-1234
 WWW.HERZOGENGINEERING.COM



HE #: 241229 05-09-2024

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

verizon
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (952) 946-4700

PROJECT
 00210688.C.9136
 LOC. CODE: 385855

SD09
 WEST
 HARRISBURG

E. WILLOW ST.
 HARRISBURG, SD 57032

SHEET CONTENTS:
 CONTACTS
 ISSUE SUMMARY
 SHEET INDEX
 DEPARTMENTAL APPROVALS
 LESSOR APPROVAL
 PROJECT INFORMATION
 AREA & VICINITY MAPS
 GENERAL NOTES

DRAWN BY: JP
 CHECKED BY: TRB
 REV. A 05-03-24
 REV. B 05-09-24

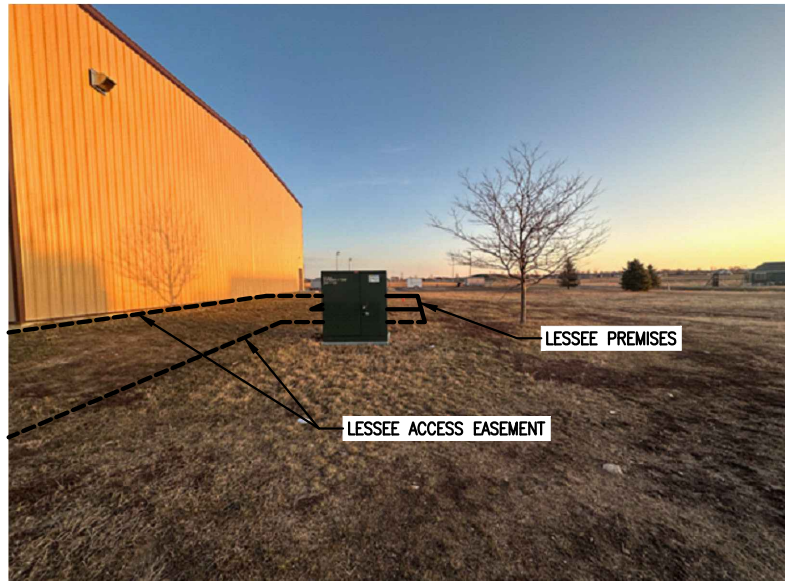
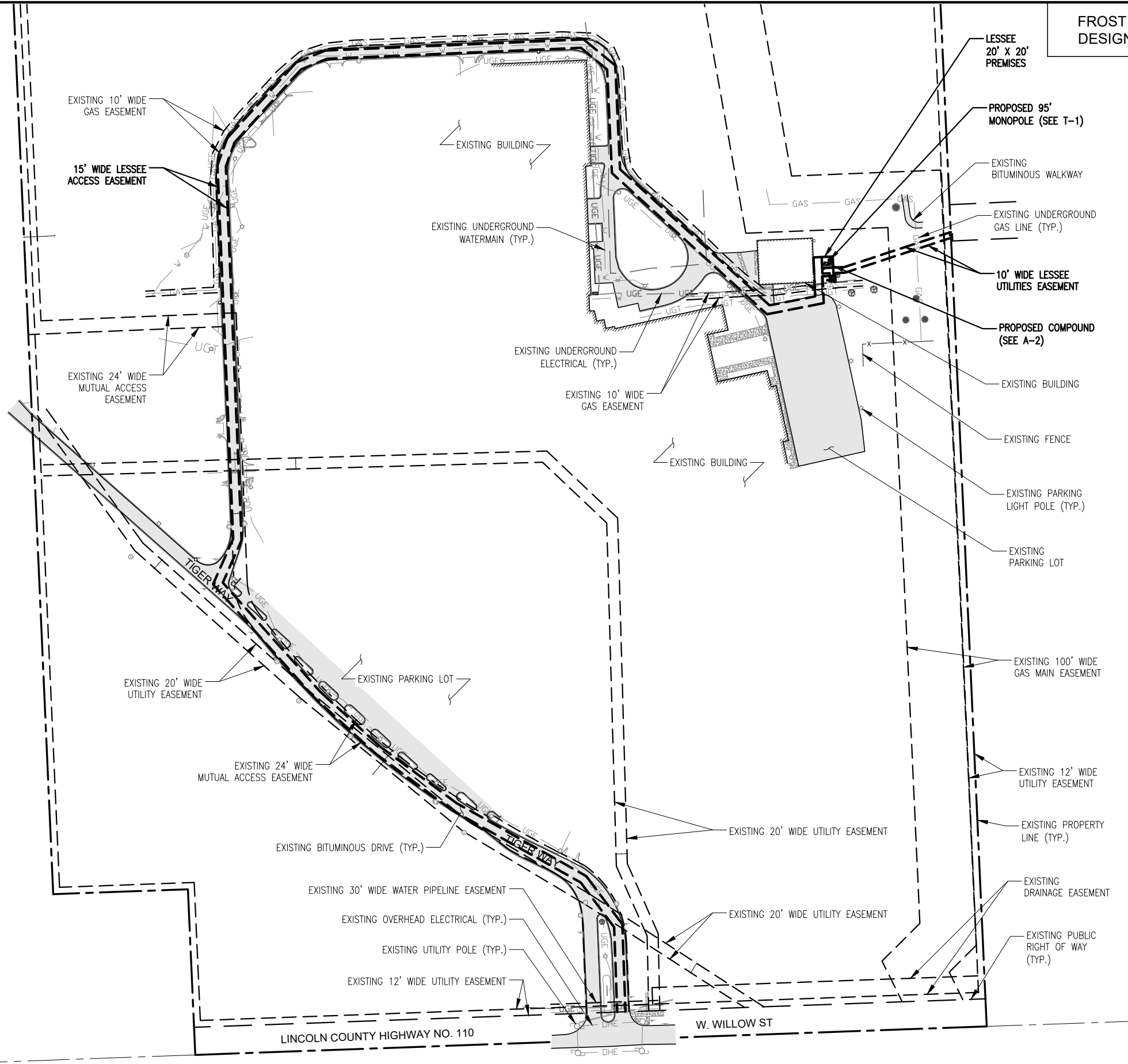
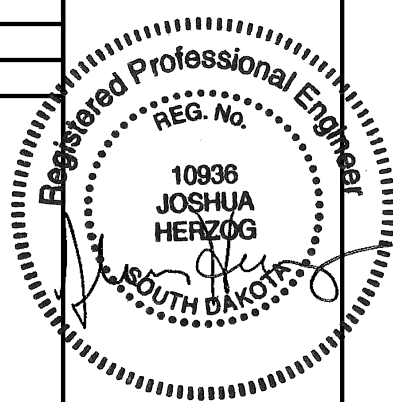
T-1

FROST DEPTH
DESIGN = 4'-0"

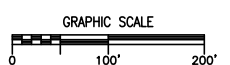
DETAIL INDEX

| DETAIL | DETAIL DESCRIPTION |
|--------|-----------------------------|
| SLAB-3 | SLAB WITH 3 CABINETS |
| 1.1 | BOLLARD DETAIL |
| 3.1 | CABLE BRIDGE SECTION |
| 5.1 | BITUMINOUS ROAD (DETAIL 3) |
| 8.1 | TELCO ENTRY DETAIL |
| 9.1 | CMPH DETAIL |
| 10.8 | ONE-LINE ELECTRICAL DIAGRAM |
| 12.1 | METER ON POST (DETAIL 2) |


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1334 81st AVE NE
SPRING LAKE PARK, MN 55432
(612) 844-1234
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1 **SITE PLAN**
SCALE: 1" = 200'-0"



2 **SITE PHOTO**
VIEW: LOOKING NORTH

HE #: 241229

DESIGN 1

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verizon

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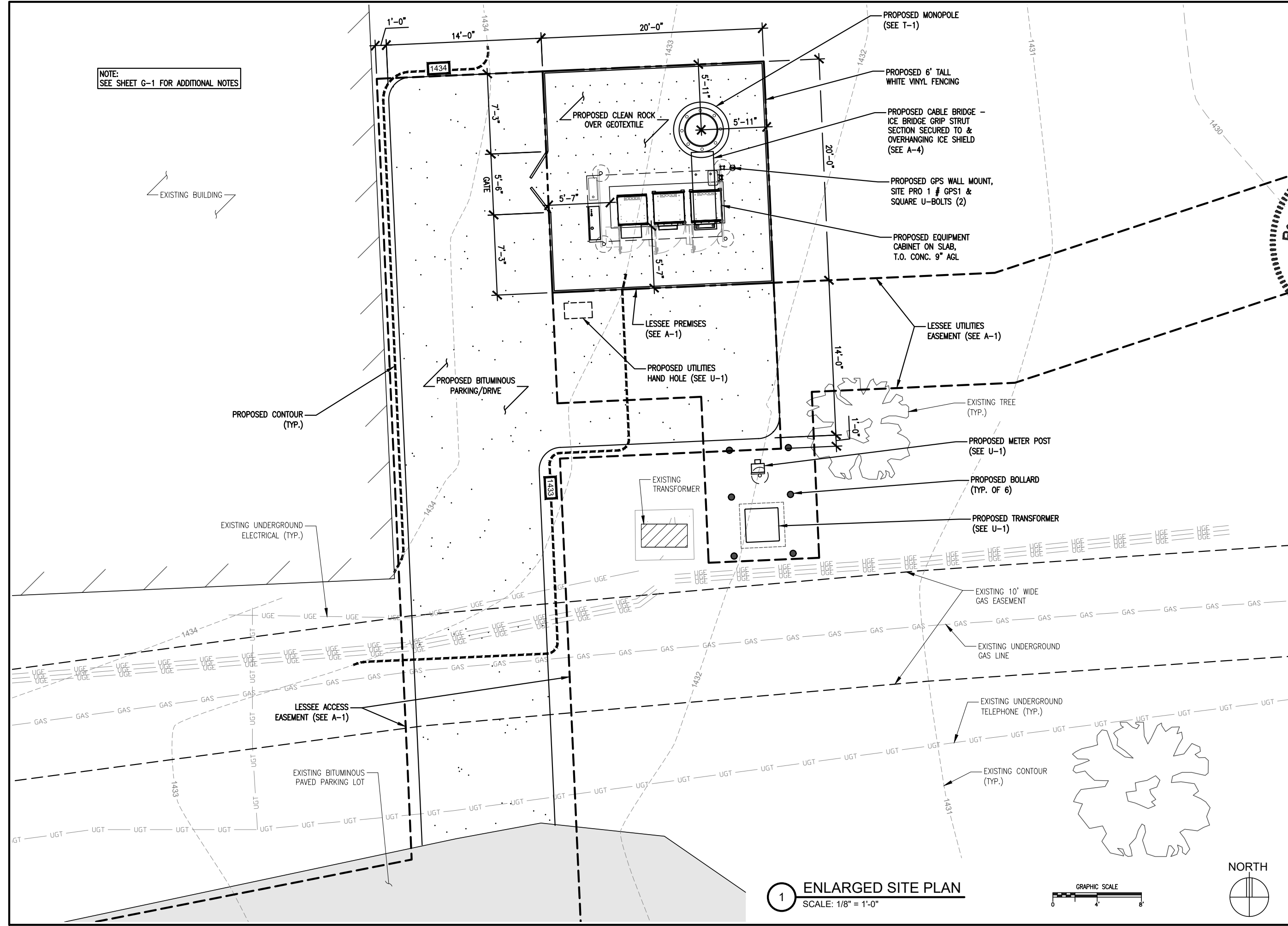
SD09
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SHEET CONTENTS:
SITE PLAN
DETAIL INDEX
PHOTO

DRAWN BY: JP
CHECKED BY: TRB
REV. A 05-03-24
REV. B 05-09-24

NOTE:
SEE SHEET G-1 FOR ADDITIONAL NOTES



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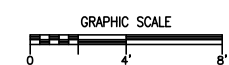
**SD09
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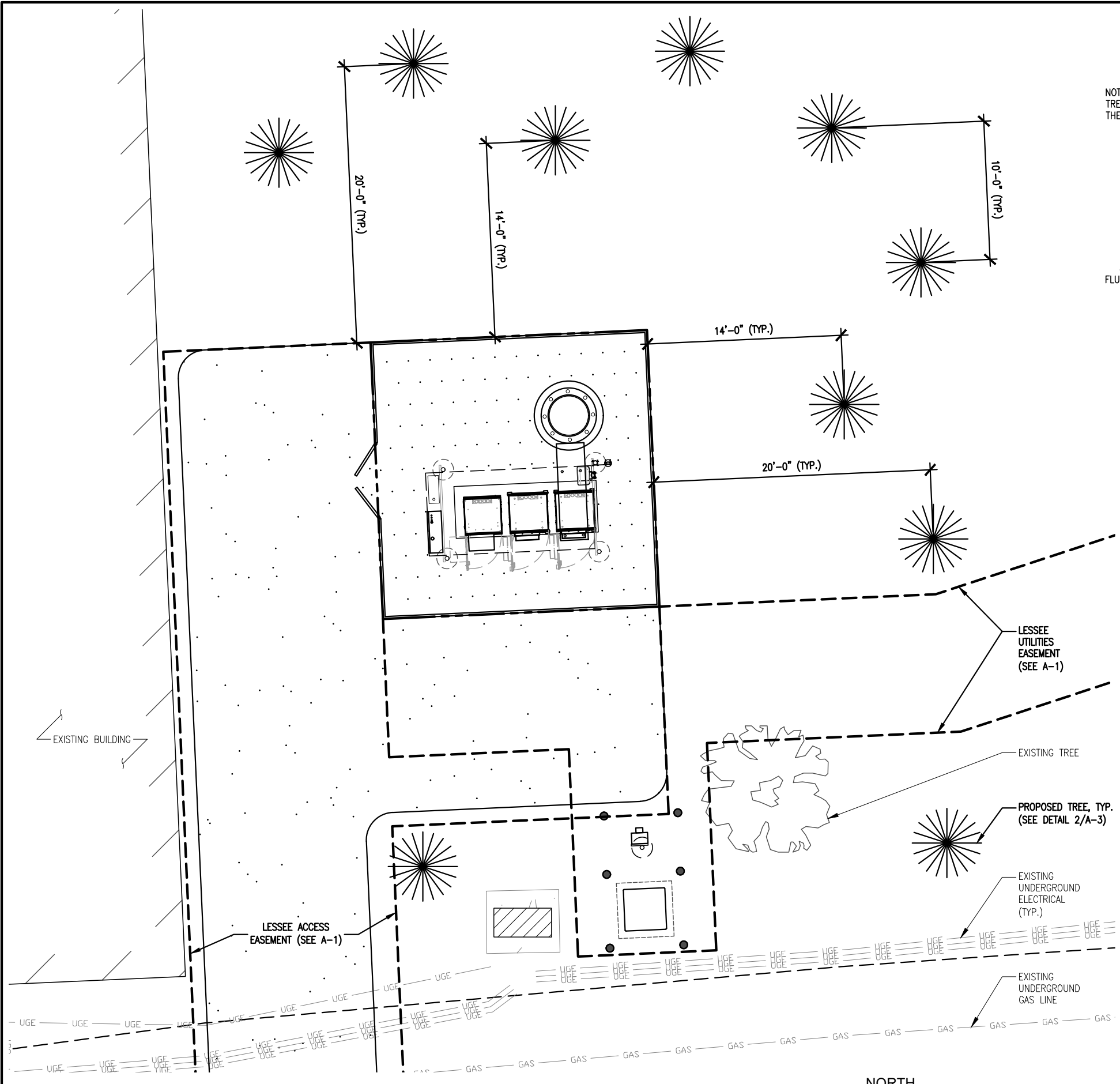
SHEET CONTENTS:
 ENLARGED SITE PLAN

DRAWN BY: JP
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 REV. A 05-03-24
 REV. B 05-09-24

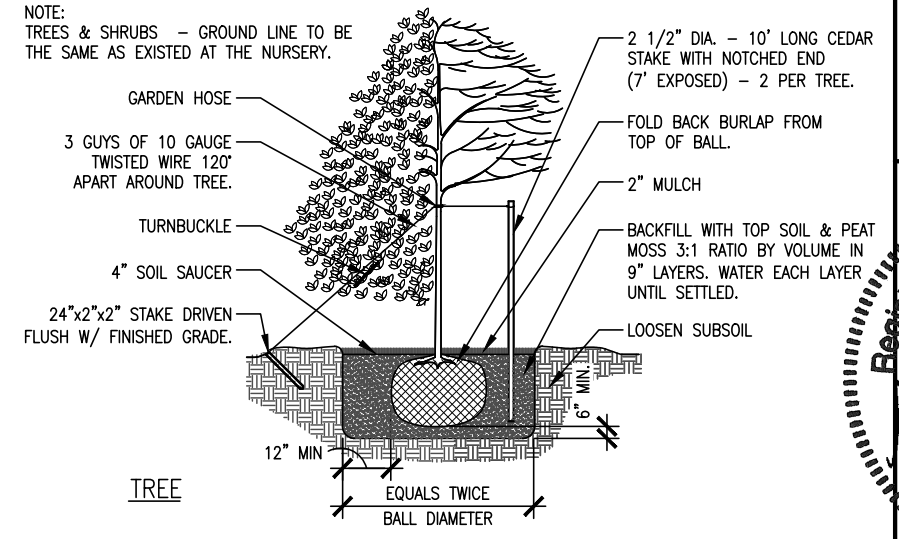
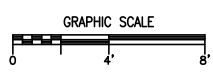
1 ENLARGED SITE PLAN
 SCALE: 1/8" = 1'-0"



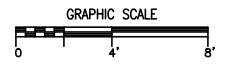
A-2



1 LANDSCAPING PLAN
SCALE: 1/8" = 1'-0"



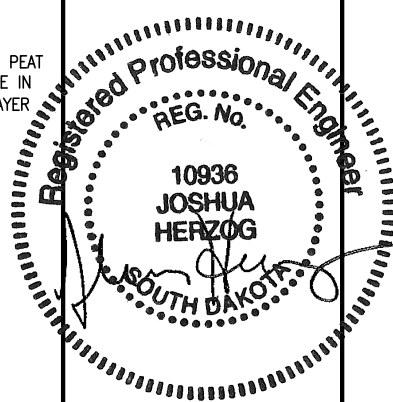
2 PLANTING DETAIL
SCALE: 1/8" = 1'-0"



| LANDSCAPE KEY | | | | | |
|---------------|------|--------------------|------------------------|------------------|------------------|
| SYMBOL | QTY. | COMMON NAME | BOTANICAL NAME | MATURE SIZE | PLANTING SIZE |
| | 10 | BLACK HILLS SPRUCE | PICEA GLAUCA 'DENSATA' | H: 40' W: 15' | 10 EA. @ 8' TALL |

3 LANDSCAPE KEY

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1334 81ST AVE NE
SPRING LAKE PARK, MN 55432
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HE #: 241229 05-09-2024

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HARRISBURG, SD 57032

SHEET CONTENTS:
LANDSCAPING PLAN
LANDSCAPING KEY
PLANTING DETAIL

DRAWN BY: JP
CHECKED BY: TRB
REV. A 05-03-24
REV. B 05-09-24

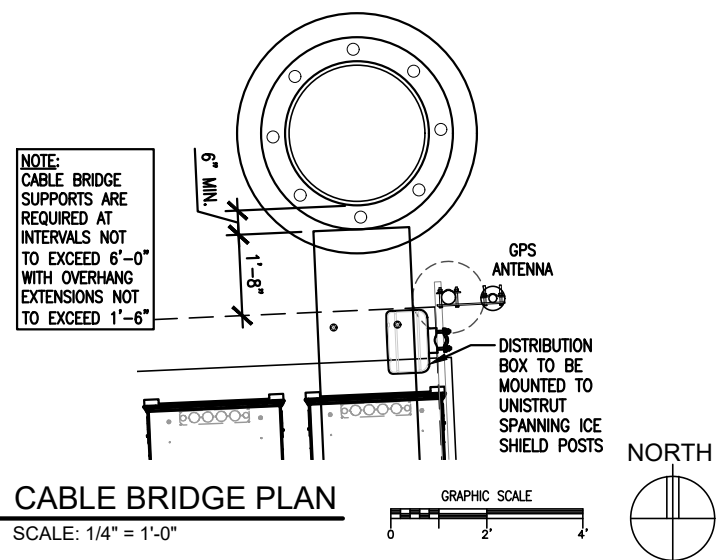
A-3

| ANTENNA KEY | | | | | | | | | | | EQUIPMENT KEY | | | | | |
|-------------|---------|----------|----------|-----|--------------|-----------------|----------|----------------|-------------|----------------|---------------|---------------|-----|--------------|---------------------------------|----------|
| | AZIMUTH | POSITION | FUNCTION | QTY | MANUFACTURER | MODEL | MOD TYPE | ANTENNA LENGTH | ANTENNA TIP | ANTENNA CENTER | ELEC DOWNTILT | MECH DOWNTILT | QTY | MANUFACTURER | MODEL | RRU PORT |
| "X" SECTOR | 30° | 1.1 | - | 1 | ERICSSON | KRE105281/1 | CBRS | 8" | 94.3' | 94.0' | 8° | 0° | 1 | ERICSSON | 4408 B48 | - |
| | 30° | 1.2 | - | 1 | ERICSSON | AIR 6419 | L-SUB6 | 28" | 92.3' | 91.0' | 0° | 0° | (1) | COMMSCOPE | HYBRID JUMPER HFT410-3SBJ1-G-15 | - |
| | 30° | 2.1 | TX/RX1 | - | COMMSCOPE | NNH4-65C-R3B-V1 | 700/850 | 96" | 95.0' | 91.0' | 0° | 0° | 1 | ERICSSON | 4490 | 1 |
| | - | 2.2 | TX/RX2 | - | - | 2ND PORT | 700/850 | - | - | - | - | - | - | - | - | 2 |
| | - | 2.3 | TX/RX3 | - | - | 3RD PORT | 700/850 | - | - | - | 0° | 0° | - | - | - | 3 |
| | - | 2.4 | TX/RX4 | - | - | 4TH PORT | 700/850 | - | - | - | - | - | - | - | - | 4 |
| | - | 2.5 | TX/RX1 | - | - | 5TH PORT | AWS | - | - | - | 0° | 0° | - | ERICSSON | 4890 | 1 |
| | - | 2.6 | TX/RX2 | - | - | 6TH PORT | AWS | - | - | - | - | - | - | - | - | 3 |
| | - | 2.7 | TX/RX3 | - | - | 7TH PORT | AWS | - | - | - | - | - | - | - | - | 5 |
| | - | 2.8 | TX/RX4 | - | - | 8TH PORT | AWS | - | - | - | - | - | - | - | - | 7 |
| | - | 2.9 | TX/RX1 | - | - | 9TH PORT | PCS | - | - | - | 0° | 0° | - | - | - | 2 |
| | - | 2.10 | TX/RX2 | - | - | 10TH PORT | PCS | - | - | - | - | - | - | - | - | 4 |
| - | 2.11 | TX/RX3 | - | - | 11TH PORT | PCS | - | - | - | - | - | - | - | - | 6 | |
| - | 2.12 | TX/RX4 | - | - | 12TH PORT | PCS | - | - | - | - | - | - | - | - | 8 | |
| "Y" SECTOR | 150° | 1.1 | - | 1 | ERICSSON | KRE105281/1 | CBRS | 8" | 94.3' | 94.0' | 8° | 0° | 1 | ERICSSON | 4408 B48 | - |
| | 150° | 1.2 | - | 1 | ERICSSON | AIR 6419 | L-SUB6 | 28" | 92.3' | 91.0' | 0° | 0° | (1) | COMMSCOPE | HYBRID JUMPER HFT410-3SBJ1-G-15 | - |
| | 150° | 2.1 | TX/RX1 | 1 | COMMSCOPE | NNH4-65C-R3B-V1 | 700/850 | 96" | 95.0' | 91.0' | 0° | 0° | 1 | ERICSSON | 4490 | 1 |
| | - | 2.2 | TX/RX2 | - | - | 2ND PORT | 700/850 | - | - | - | - | - | - | - | - | 2 |
| | - | 2.3 | TX/RX3 | - | - | 3RD PORT | 700/850 | - | - | - | 0° | 0° | - | - | - | 3 |
| | - | 2.4 | TX/RX4 | - | - | 4TH PORT | 700/850 | - | - | - | - | - | - | - | - | 4 |
| | - | 2.5 | TX/RX1 | - | - | 5TH PORT | AWS | - | - | - | 0° | 0° | - | ERICSSON | 4890 | 1 |
| | - | 2.6 | TX/RX2 | - | - | 6TH PORT | AWS | - | - | - | - | - | - | - | - | 3 |
| | - | 2.7 | TX/RX3 | - | - | 7TH PORT | AWS | - | - | - | - | - | - | - | - | 5 |
| | - | 2.8 | TX/RX4 | - | - | 8TH PORT | AWS | - | - | - | - | - | - | - | - | 7 |
| | - | 2.9 | TX/RX1 | - | - | 9TH PORT | PCS | - | - | - | 0° | 0° | - | - | - | 2 |
| | - | 2.10 | TX/RX2 | - | - | 10TH PORT | PCS | - | - | - | - | - | - | - | - | 4 |
| - | 2.11 | TX/RX3 | - | - | 11TH PORT | PCS | - | - | - | - | - | - | - | - | 6 | |
| - | 2.12 | TX/RX4 | - | - | 12TH PORT | PCS | - | - | - | - | - | - | - | - | 8 | |
| "Z" SECTOR | 270° | 1.1 | - | 1 | ERICSSON | KRE105281/1 | CBRS | 8" | 94.3' | 94.0' | 8° | 0° | 1 | ERICSSON | 4408 B48 | - |
| | 270° | 1.2 | - | 1 | ERICSSON | AIR 6419 | L-SUB6 | 28" | 92.3' | 91.0' | 0° | 0° | (1) | COMMSCOPE | HYBRID JUMPER HFT410-3SBJ1-G-15 | - |
| | 270° | 2.1 | TX/RX1 | 1 | COMMSCOPE | NNH4-65C-R3B-V1 | 700/850 | 96" | 95.0' | 91.0' | 0° | 0° | 1 | ERICSSON | 4490 | 1 |
| | - | 2.2 | TX/RX2 | - | - | 2ND PORT | 700/850 | - | - | - | - | - | - | - | - | 2 |
| | - | 2.3 | TX/RX3 | - | - | 3RD PORT | 700/850 | - | - | - | 0° | 0° | - | - | - | 3 |
| | - | 2.4 | TX/RX4 | - | - | 4TH PORT | 700/850 | - | - | - | - | - | - | - | - | 4 |
| | - | 2.5 | TX/RX1 | - | - | 5TH PORT | AWS | - | - | - | 0° | 0° | - | ERICSSON | 4890 | 1 |
| | - | 2.6 | TX/RX2 | - | - | 6TH PORT | AWS | - | - | - | - | - | - | - | - | 3 |
| | - | 2.7 | TX/RX3 | - | - | 7TH PORT | AWS | - | - | - | - | - | - | - | - | 5 |
| | - | 2.8 | TX/RX4 | - | - | 8TH PORT | AWS | - | - | - | - | - | - | - | - | 7 |
| | - | 2.9 | TX/RX1 | - | - | 9TH PORT | PCS | - | - | - | 0° | 0° | - | - | - | 2 |
| | - | 2.10 | TX/RX2 | - | - | 10TH PORT | PCS | - | - | - | - | - | - | - | - | 4 |
| - | 2.11 | TX/RX3 | - | - | 11TH PORT | PCS | - | - | - | - | - | - | - | - | 6 | |
| - | 2.12 | TX/RX4 | - | - | 12TH PORT | PCS | - | - | - | - | - | - | - | - | 8 | |

ADDITIONAL:
(2) DISTRIBUTION BOX, MODEL RVZDC-6627-PF-48 (1 ON TOWER & 1 AT CABINET SLAB)
(2) COMMSCOPE HYBRID CABLE, MODEL HFT1206-24SV4-G-110 (DIST BOX AT SLAB TO DIST BOX ON TOWER)
(6) COMMSCOPE HYBRID JUMPER, MODEL HFT410-2SBVE-15G (DIST. BOX TO RRU)
(3) COMMSCOPE HYBRID JUMPER, MODEL HFT410-3SBJ1-G-15 (DIST. BOX TO ANTENNA)
(36) ANDREW COAX JUMPER, MODEL LDF4-50A, 1/2" Ø FOAM DIELECTRIC, 10' EACH (RRU TO ANTENNA)
(1) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER UNITS (IN CABINET)
(3) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER MODULE (IN CABINET)
(3) ERICSSON MODEL #TFL90134/60M POWER CABLES FOR CBRS
(3) ERICSSON MODEL #RPM2533512/5000 FIBER CABLES FOR CBRS

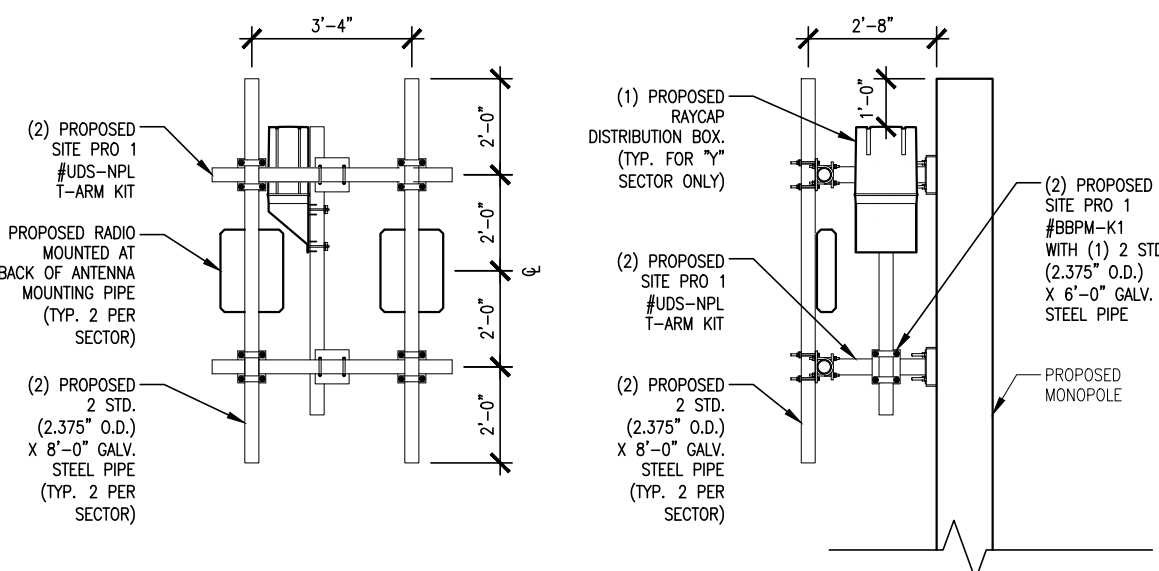
CABLE BRIDGE = 2'
RAD CENTER = 91'
CANOPY = 14'
TOTAL = 107'

3 PROPOSED KEYS



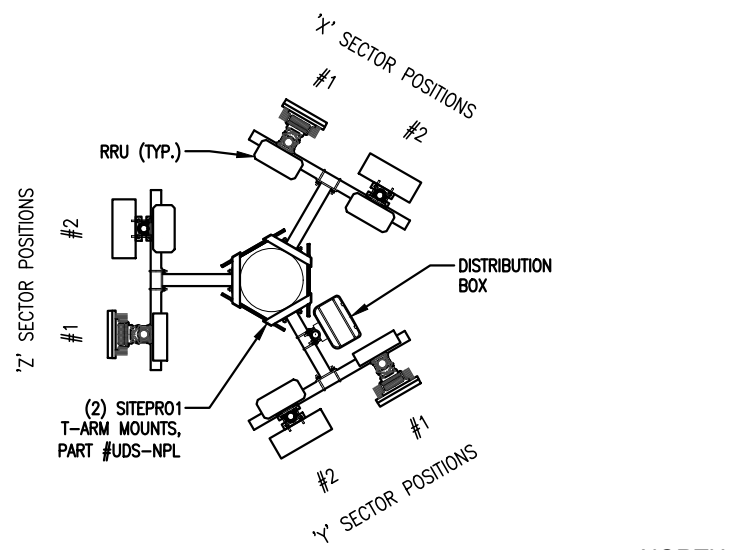
4 CABLE BRIDGE PLAN
SCALE: 1/4" = 1'-0"

FRONT VIEW SIDE VIEW

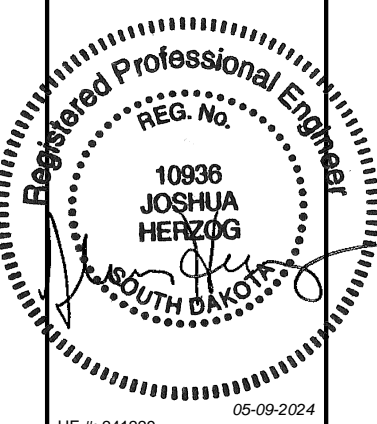


2 EQUIPMENT MOUNTING DETAILS
SCALE: 1/8" = 1'-0"

NOTES:
1) T-FRAMES & ANTENNA MOUNTING PIPES BY TOWER MANUFACTURER.
2) CONTRACTOR TO ENSURE MOUNT & ANTENNA ARRAY DOES NOT IMPEDE SAFETY CLIMB/CABLES.



1 ANTENNA MOUNTING DETAIL
SCALE: 3/16" = 1'-0"



PROJECT
00210688.C.9136
LOC. CODE: 385855

SD09
WEST
HARRISBURG

E. WILLOW ST.
HARRISBURG, SD 57032

SHEET CONTENTS:
PROPOSED KEYS
CABLE BRIDGE PLAN
ANTENNA MOUNTING DETAIL
EQUIPMENT MOUNTING DETAIL

DRAWN BY: JP
CHECKED BY: TRB
REV. A 05-03-24
REV. B 05-09-24

GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment cabinets and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower base is over 20'-0" from the equipment cabinets, a separate Lead 1 shall be established around each foundation, and the two Lead 1s shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1s shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-listed compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall not be 'cold galvanize' coated.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire buried at local frost depth. Lead 1 bends shall be minimum 24" radius. 'Whip' lead bends may be of 12" radius.

Ground rods shall be galvanized steel, 5/8"Ø, spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not specified to be backfilled w/ Bentonite Slurry: If boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurried Bentonite encasement, drilling equipment will be need to be used to be bore a hole for ground rod placement. Slurry shall be made from pelletized material ("Grounding Gravel"); powdered Bentonite is not allowed. If boulders, bedrock, or other obstructions are found, Contractor shall drill to the specified depth and provide Bentonite encasements.

Above-grade connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid leads by welding (T&B 54856BE "BROWN"), self-threading (RECOGNIZED, EM 2522DH.75.312), or 10,000psi crimping (BURNDY YA3C 2TC 14E2). Surfaces that are galvanized or coated shall have coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & dissimilar metal (copper-to-steel, etc) but are not required between tin-clad CU lugs & tin-clad CU bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

Ground Bar leads

Ground bars are isolated electrically from tower bottoms and equipment cabinets by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBTC, each connected to Lead 1 bi-directionally with #2 SBTC 'jumpers'. Pairs of #2 SBTC may be required between ground bars. Leads shall be routed to ground bars as follows:

- * The Main Ground Bar (MGB), typically mounted adjacent to the ILC (location varies).
- * The Port Ground Bars (PGB), mounted inside and outside on the equipment shelter walls beneath the transmission line port. Note: Transmission line grounds also attach to the PGBs.
- * The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame; upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

#2 SBTC Whip leads

'Whip' leads shall connect the buried external ground ring to the following items:

Monopole Towers:

- * Three whips to flanges on the monopole base, at least 90° apart. If none are provided, attach to the baseplate or consult tower manufacturer.

Self-Support Towers:

- * Two whips to flange(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.

Guyed Towers:

- * Two whips to flange(s) on the tower base. If none are provided, attach to the baseplate or consult tower manufacturer.
- * Establish a Lead 1 within the fence enclosure of each guy anchor, at least 40 foot perimeter and having 4 ground rods.
- * #2 SBTC leads shall extend up, and be clamped (bronze clamshell or equal), to any two guy wires. NEVER weld leads to the guy wires. The lead to the guy anchor 'hand' plate may be welded.

Fences:

- Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:
 - * Each corner post.
 - * Each pair of gate posts.
 - * Any line post over 20'-0" from a grounded post.
 - * Each gate leaf to its respective gatepost using braided strap (3/4", tin-clad copper w/ lug ends).
- * Fences around guy anchors shall be grounded in similar fashion.

Fuel tanks:

NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tanks shall have one whip lead attached. Use an approved clamp or two-hole lug on an available flange.

Equipment Shelter/Platform and Other General Requirements (including but not limited to):

- * Extend new Lead 21B up to shelter halo, remaking two-way connections as needed. Generator-equipped shelters have 6 such connections. Connections within the shelter shall be by compression; NEVER weld inside the shelter.
- * Each vertical support pipe of the exterior cable bridge. Bridge end shall be kept at least 6" from the tower structure. The cable bridge shall be jumpered to the vertical support pipes with #2 SBTC at each vertical support pipe.
- * Opposite corners of the steel equipment platform.
- * Opposite corners of the roof shield over the equipment shelter.
- * Each HVAC unit shield, if separate (may be 'jumpered' to main roof shield).
- * Each HVAC package unit.
- * Commercial electric meter box.
- * Generator receptacle, if present.
- * Steel building skid, if shelter is metal frame.
- * Each air intake or exhaust fan vent louver.
- * Each generator vent hood or louver.
- * Generator exhaust stack, external.
- * Opposite corners of generator support frame, if separate from shelter.
- * Generator fuel tank, if separate from generator unit.
- * Host building rain gutter, downspouts, and roof flashings within 25 feet.
- * Telco MPOP (Main Point of Presence), if external to equipment shelter.
- * Within cable vaults, one each to the ladder and to the manhole rim.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

Inspection & Testing

Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding, using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer at least 48 hours prior to testing. Document installation and test results with photographs.

General Contractor Notes:

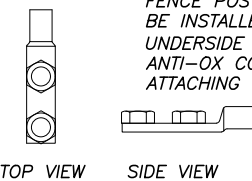
- Contractor to coordinate public & private utility locates prior to construction start. Notify the Designer & VZW Construction Engineer immediately of any utility line issues.
- General contractor is responsible for confirming that the installation of all grounding meets the Verizon Network Standard Number "NSTD46" document titled "Cell Site and Microwave Radio Station Protection - Engineering Considerations".
- Contractor shall ensure that each whip is routed to lead 1 by the shortest path, and bends shall not be less than 12" radius.
- Primary Electrical - Depth and specification by Power Utility Company.
- Secondary Electrical - Install conduit 32" below grade with two (2) detectable ribbons.
- Fiber Optic - Install conduit 36" below grade with pull string, traceable wire and two (2) detectable ribbons.

SYMBOL AND NOTE LEGEND

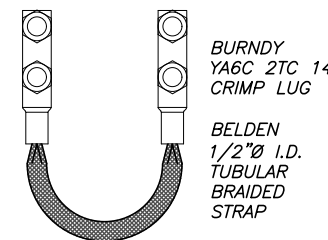
- ① #2 SBTC AROUND CABINET SLAB, TOWER, OR GUY ANCHOR
- 5/8" X 10'-0" GALVANIZED STEEL GROUND ROD
- ◎ TEST WELL PREFERRED LOCATION
- #2 SBTC 'WHIP' LEAD
- ⑤ (2) #2 SBTC FROM MGB, PGB, OR TGB TO LEAD 1
- ⑥ AC HVAC UNIT
- ②(B) BC BUILDING CORNER
- ⑥ BO BOLLARD
- ⑥ CBS CABLE BRIDGE SUPPORT POST
- ④ EL ELECTRICAL SERVICE GROUND
- ⑥ EM COMMERCIAL ELECTRICAL METER
- ⑥ FAN GUY ANCHOR PLATE
- ⑥ FP FENCE POST
- ⑨⑩ GEN GENERATOR
- ⊂ GP GATE POST, 3/4" BRAID STRAP TO LEAF
- ⑥ GPS GPS UNIT
- ⑥ GUY GUY WIRE, MECH. CLAMP ONLY - NO WELDS
- ⑥ HL HOOD OR LOUVER
- ⑥ HB OUTSIDE OF HOFFMAN BOX
- ⑥ ILC INTEGRATED LOAD CENTER
- ⑤ MGB MAIN GROUND BAR
- ⑥ MU GENERATOR MUFFLER
- ⑤ PGB PORT GROUND BAR
- ⑥ RBR FOUNDATION REINFORCING
- ⑥ RS ROOF SHIELD
- ⑥ SB STEEL BEAM
- ⑥ SP STEEL POST
- ⑥ STP STEEL PLATFORM
- ⑥ TEL HOFFMAN BOX
- ⑤ TGB TOWER GROUND BAR
- ⑥ TWR TOWER BASE
- ⑥ VP DIESEL FUEL VENT PIPE

Note:

Contractor to provide #2 solid bare tin-clad (SBTC) copper wire lead from #1 ground ring to air conditioner & ice shield if provided by VZW.



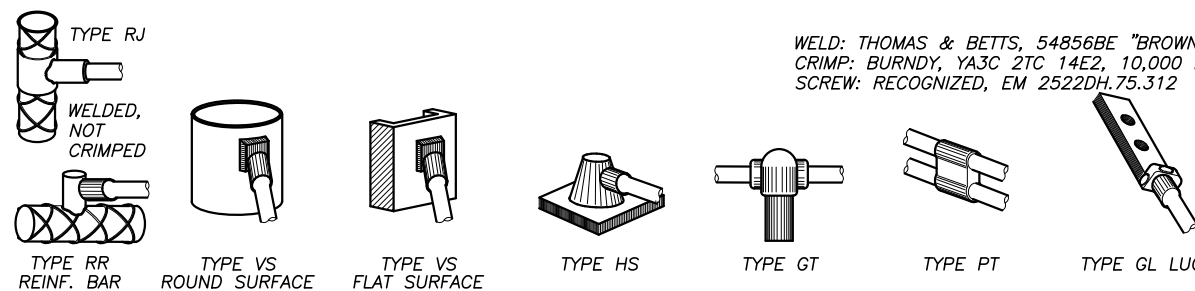
TWO-HOLE 10,000 PSI COMPRESSION FITTING UL 9498 LISTED



GATE BONDED TO FENCE POST (2) TWO-HOLE 10,000 PSI COMPRESSION FITTING w/ 3/4" BRAIDED TINNED COPPER JUMPER STRAP

HYTAP CONNECTOR 10,000 PSI COMPRESSION FITTING FITTING MUST BE UL467 LISTED ACCEPTABLE FOR DIRECT BURIAL

2 COMPRESSION CONNECTOR DETAILS SCALE: NTS



WELD: THOMAS & BETTS, 54856BE "BROWN33" CRIMP: BURNDY, YA3C 2TC 14E2, 10,000 PSI SCREW: RECOGNIZED, EM 2522DH.75.312

1 EXOTHERMIC WELD DETAILS SCALE: NTS

LEAD IDENTIFICATION & DESCRIPTION:

- 1 RING, EXTERNAL BURIED w/ RODS #2 SBTC
- 1A RING, CONCRETE ENCASED #2 SBTC
- 2 DEEP ANODE (TO IMPROVE OHMS) ROD OR PIPE
- 3 RING TO BLDG STL FRAME #2 SBTC
- 4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND RODS, ISOLATED FROM LEAD #1 NEC 250.66
- 5 RING TO GROUND BAR (2) #2 SBTC
- 6 RING TO EXT MTL OBJECT #2 SBTC
- 7 DEEP ANODE TO MGB NSTD33-9
- 8 AC PANEL TO WATER METER NEC 250.66
- 9 EXT WATER TO INT WATER PIPES NSTD33-9
- 10 INT WATER PIPE TO MGB NSTD33-9
- 11-12 NOT USED
- 13 AC PANEL TO MGB NSTD33-9
- 14 MGB/FGB TO BLDG STL FRAME #2/0 I-STR
- 14C MGB/FGB TO ROOF/WALL MTL PNL #1/0 I-STR
- 15 MGB/FGB TO FGB-HE SAME FLOOR #2/0 I-STR
- 16 NOT USED
- 16A ECPGB TO CABLE ENTRY RACK #1/0 I-STR
- 17 MGB TO CABLE SHIELDING #6 I-STR
- 17A ECPGB TO CABLE SHIELDING #6 I-STR
- 17B MGB/FGB TO F-0 SPLICE SHELF #1 I-STR
- 18 LOWEST MGB/FGB TO HIGHEST FGB #2/0 I-STR
- 19 LEAD 18 TO OTHER FGBs, <6' #2/0 I-STR
- 20 MGB/FGB TO BRANCH AC PNL #6 I-STR
- 20A NEAREST GRND TO DISCONNECT PNL NEC 250.66
- 20B GWB TO AC DISTR PNL #6 I-STR
- 21 MGB/FGB TO INT HALO #2 I-STR
- 21A INTERIOR 'GREEN' HALO #2 I-STR
- 21B INT HALO TO EXT RING #2 SBTC
- 21C INT HALO TO EQUIPMENT MTL #6 I-STR
- 22 ROOF TOWER RING TO ROOF GRND NFPA 780
- 23 MGB/FGB TO ECPGB, SAME FLOOR #1 I-STR
- 23A MGB/FGB TO CXR-HF LINR PROT #6 I-STR
- 24 ECPGB TO EACH PROTECTOR ASSEMBLY #6 I-STR
- 24A LOWER PROT ASSY TO UPPER #6 I-STR

- 25 RING TO NEAREST LIGHTNING ROD #2 SBTC
- 26 LGHTNG ROD SYS TO NEARBY MTL NFPA 780
- 27 RING TO TOWER RING (2) #2 SBTC
- 28 RING TO SHELTER RING (2) #2 SBTC
- 29 BRANCH AC PNL TO BITY CHG FRM NSTD33-11
- 30 BRANCH AC PNL TO OUTLETS NSTD33-11
- 31 MGB/FGB TO PWR, BITY FRAMES #2/0 I-STR
- 32 #31 TO BATTERY CHARGER FRAME #6 I-STR
- 33 #31 TO BATTERY RACK FRAME #6 I-STR
- 34 #31 TO PCU FRAME #6 I-STR
- 35 #31 TO DSU FRAME #6 I-STR
- 36 #31 TO PDU FRAME #6 I-STR
- 37 MGB/FGB TO BITY RETURN NSTD33-14.5
- 37A MGB/FGB TO RTN TERM CARR SUPP #6 I-STR
- 38 FGB TO PDU GB #750MCM I-STR
- 38A FGB TO PDU GB CARRIER SECTION #2/0 I-STR
- 39 DC BUS DUCT TO NEXT SECTION #6 I-STR
- 40 DC BUS DUCT TO MGB/FGB #6 I-STR
- 41A MGB/FGB TO #58 #2/0 I-STR
- 42-44 NOT USED
- 45 MAIN AC PNL TO BRANCH AC PNL NSTD33-11
- 46 BRANCH AC PNL TO DED OUTLET NSTD33-11
- 47 FGB TO INTEG FRM #2 I-STR
- 48 LEAD #31 TO INTEG FRM #6 I-STR
- 49 INTEG FRM TO EQUIP SHELF BY FASTENERS #6 I-STR
- 50 PDU BITY RET TO #51 #2/0 I-STR
- 51 #50 TO TRANS FRM ISO DC PWR #6 I-STR
- 52 TRANS FRM FUSE TO FRM OR BAR #8 I-STR
- 53A MGB/FGB TO PDF/BDFB NSTD33-22
- 54 MGB/FGB TO STATIC DEVICES #6 I-STR
- 55 MGB/FGB TO CABLE AT ENTRY #6 I-STR
- 56 MGB/FGB TO AC PWR RADIO XMTRR #6 I-STR
- 57A MGB/FGB TO CBL GRID/RUNWAY #2/0 I-STR
- 58A #41A TO AISLE FRAME #2 I-STR
- 59A #58A TO EACH SGL FRAME GRND #6 I-STR
- 60-69 NOT USED
- 90 GENERATOR FRAME TO EXT RING #2 SBTC

HERZOG ENGINEERING
1334 81st AVE NE
SPRING LAKE PARK, MN 55432
(612) 844-1234
WWW.HERZOGENGINEERING.COM

Professional Engineer
REG. No. 10936
JOSHUA HERZOG
SOUTH DAKOTA
HE #: 241229

DESIGN
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

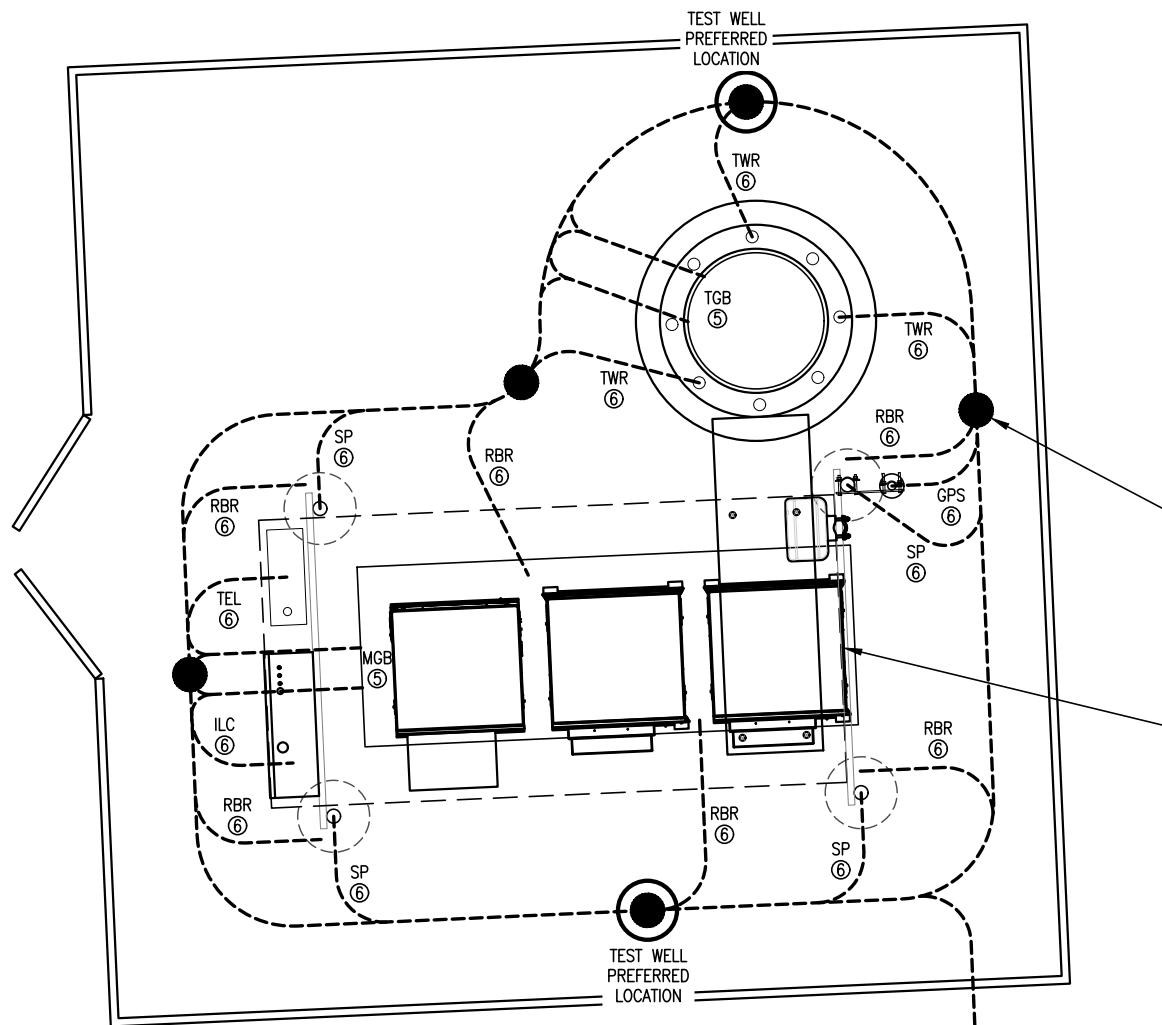
PROJECT
00210688.C.9136
LOC. CODE: 385855

SD09
WEST
HARRISBURG

E. WILLOW ST.
HARRISBURG, SD 57032

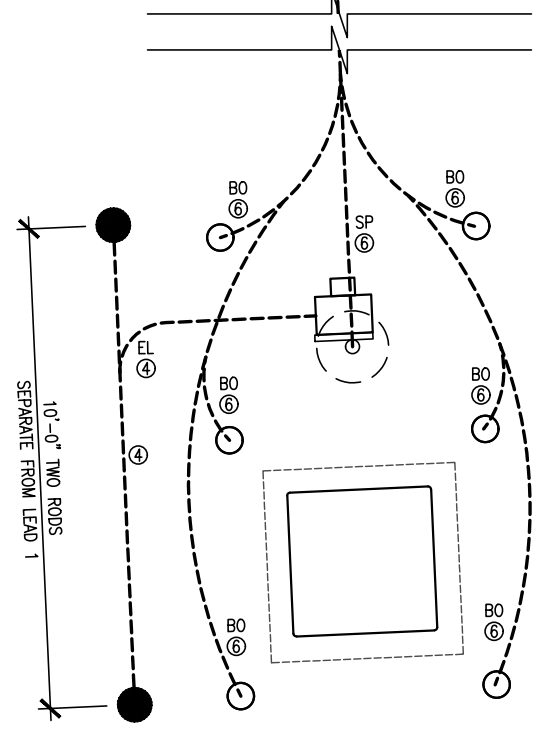
SHEET CONTENTS:
GROUNDING & UTILITY NOTES

DRAWN BY: JP
CHECKED BY: TRB
REV. A 05-03-24
REV. B 05-09-24



GROUNDING ROD,
SPACED 20'-0" O.C.
OR AS SHOWN (TYP.)

PROPOSED EQUIPMENT & EQUIPMENT CABINETS
TO BE GROUNDED PER MANUFACTURERS SPECS
AND ATTACHED TO MAIN BUSS BAR



1 GROUNDING PLAN
SCALE: NTS



GROUNDING DETAIL INDEX

| DETAIL | DETAIL DESCRIPTION |
|--------|--------------------------------------------|
| SLAB | SLAB ON GRADE GROUNDING |
| 11.1 | TEST WELL DETAIL, GROUND RING & ROD DETAIL |
| 11.3 | REBAR GROUNDING DETAIL |
| 11.4 | CONDUIT DETAIL |
| 11.5 | TYPICAL GROUNDING CABLE BRIDGE DETAIL |
| 11.6 | TYPICAL TOWER GROUNDING DETAIL |

**HERZOG
ENGINEERING**
1334 81ST AVE NE
SPRING LAKE PARK, MN 55432
(612) 844-1234
WWW.HERZOGENGINEERING.COM

Registered Professional Engineer
REG. No. 10936
JOSHUA
HERZOG
SOUTH DAKOTA

HE #: 241229

DESIGN
1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT
00210688.C.9136
LOC. CODE: 385855

SD09
WEST
HARRISBURG

E. WILLOW ST.
HARRISBURG, SD 57032

SHEET CONTENTS:
GROUNDING PLAN
GROUNDING DETAIL INDEX

NOTE:
SEE SHEET G-1 FOR ADDITIONAL NOTES.

| | |
|-------------|----------|
| DRAWN BY: | JP |
| CHECKED BY: | TRB |
| REV. A | 05-03-24 |
| REV. B | 05-09-24 |

POWER TYPE:
120/240V, SINGLE
PHASE, 200 AMPS

HERZOG ENGINEERING
1334 81st AVE NE
SPRING LAKE PARK, MN 55432
(612) 844-1234
WWW.HERZOGENGINEERING.COM

Registered Professional Engineer
REG. No. 10936
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PROJECT
00210688.C.9136
LOC. CODE: 385855

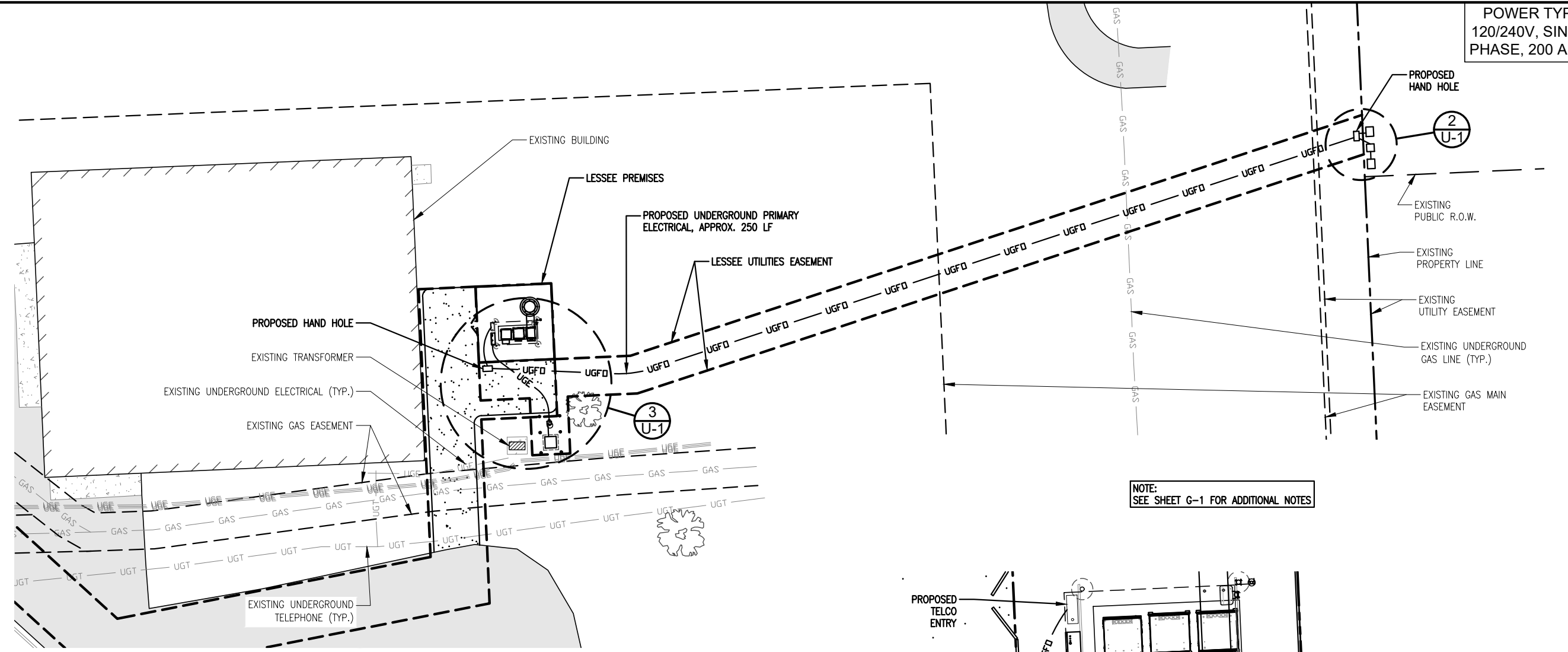
SD09
WEST
HARRISBURG

E. WILLOW ST.
HARRISBURG, SD 57032

SHEET CONTENTS:
SITE UTILITY PLAN
PULLBOX LOCATION PLAN

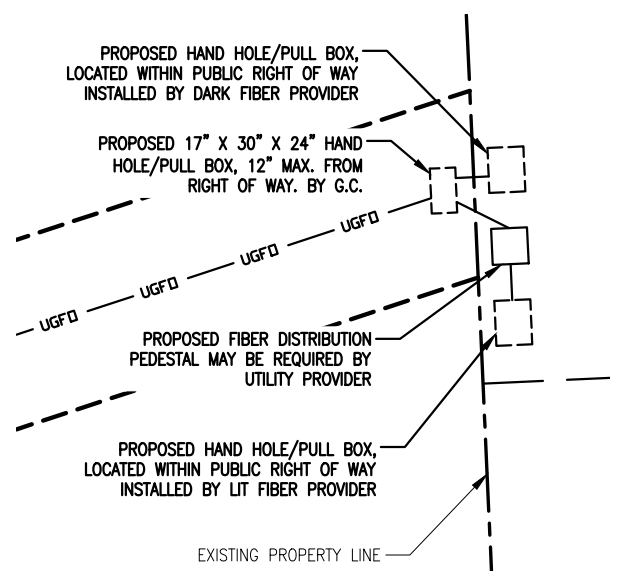
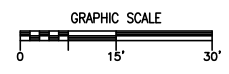
| | |
|-------------|----------|
| DRAWN BY: | JP |
| CHECKED BY: | TRB |
| REV. A | 05-03-24 |
| REV. B | 05-09-24 |

U-1

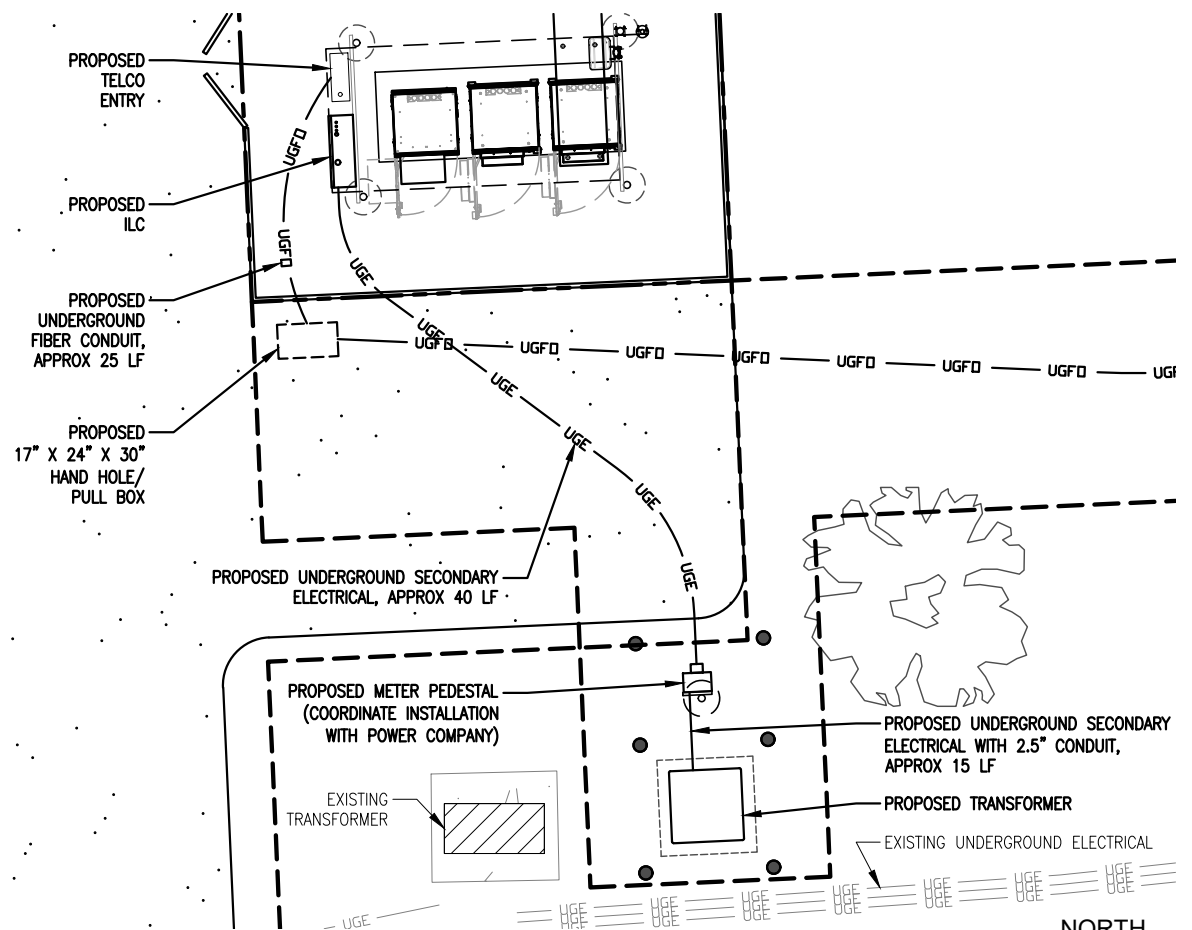
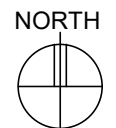
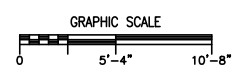


NOTE:
SEE SHEET G-1 FOR ADDITIONAL NOTES

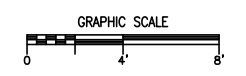
1 SITE UTILITY PLAN
SCALE: 1" = 30'-0"



2 PULLBOX LOCATION PLAN
SCALE: 3/32" = 1'-0"



3 COMPOUND UTILITY PLAN
SCALE: 1/8" = 1'-0"



SITE SURVEY

Parent Parcel Description (per First American Title Insurance Company Title Commitment No. NCS-1173588-KCTY, Revision No. 1, dated March 8, 2024)

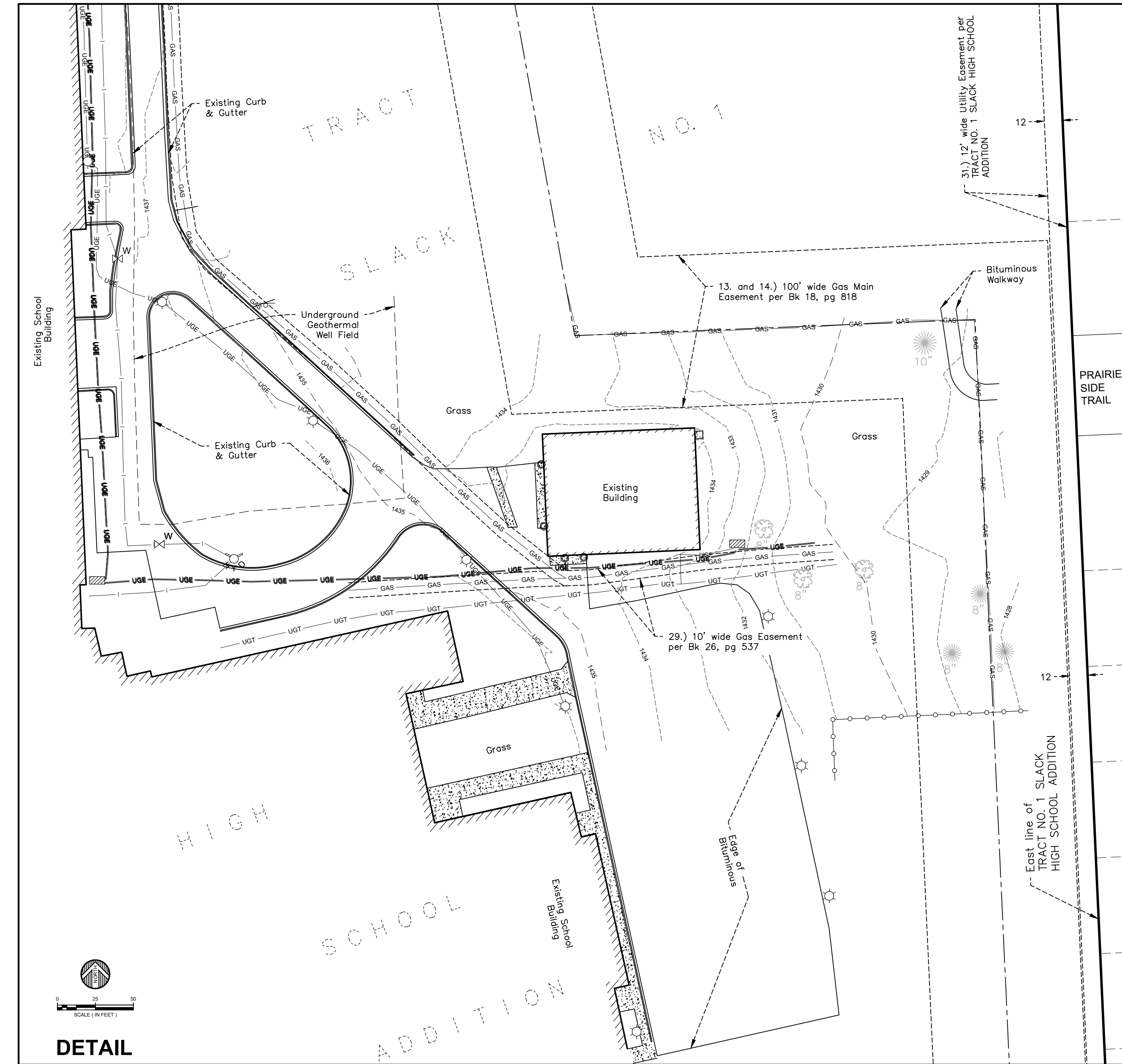
The Land referred to herein below is situated in the County of LINCOLN, State of SOUTH DAKOTA, and is described as follows:

TRACT NO. 1 OF SLACK HIGH SCHOOL ADDITION, LOCATED IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 35, TOWNSHIP 100 NORTH, RANGE 50 WEST OF THE 5TH P.M., CITY OF HARRISBURG, LINCOLN COUNTY, SOUTH DAKOTA, AS SHOWN ON THE PLAT RECORDED IN BOOK Z OF PLATS, PAGE 191, AND AS CORRECTED BY THE AFFIDAVIT RECORDED IN BOOK 27 OF MISCELLANEOUS, PAGE 2; LESS LOT 1 OF TRACT NO. 1 OF SLACK HIGH SCHOOL ADDITION, AS SHOWN ON THE PLAT RECORDED IN BOOK 2 OF PLATS, PAGE 223; AND LESS LOT H1, AS SHOWN ON THE PLAT RECORDED IN BOOK 15 OF PLATS, PAGE 108.

Schedule "B" Exceptions (per First American Title Insurance Company Title Commitment No. NCS-1173588-KCTY, Revision No. 1, dated March 8, 2024)

- 1-11. Not a plottable survey matter.
12. Statutory section line right-of-way across the south 33 feet of the Land pursuant to SDCL, Chapter 31-18, and as shown on the plat recorded in Book Z of Plats, Page 191. The right of way of Willow Street is as shown on the survey.
13. Right of Way Contract granted to Standard Oil Company, as set forth in instrument recorded July 8, 1941, in Book J of Miscellaneous, Page 435.
 - Assignment of Rights of Way to The American Oil Company, as set forth in instrument recorded March 3, 1961, in Book O of Miscellaneous, Pages 239-243.
 - Assignment and Conveyance to Kaneb Pipe Line Operating Partnership, L.P., as set forth in instrument recorded January 14, 1999, in Book 9 of Miscellaneous, Page 42.
 - Partial Release of Right of Way, as set forth and shown in instrument recorded September 12, 2008, in Book 18 of Miscellaneous, Page 818.
 Book 18 of Miscellaneous, Page 818 described a 100' wide Gas Main Easement. It is as shown on the survey.
14. Right of Way Contract granted to Standard Oil Company, as set forth in instrument recorded July 8, 1941, in Book J of Miscellaneous, Page 436.
 - Assignment of Rights of Way to The American Oil Company, as set forth in instrument recorded March 3, 1961, in Book O of Miscellaneous, Pages 239-243.
 - Assignment and Conveyance to Kaneb Pipe Line Operating Partnership, L.P., as set forth in instrument recorded January 14, 1999, in Book 9 of Miscellaneous, Page 42.
 - Partial Release of Right of Way, as set forth and shown in instrument recorded September 12, 2008, in Book 18 of Miscellaneous, Page 818.
 Book 18 of Miscellaneous, Page 818 described a 100' wide Gas Main Easement. It is as shown on the survey.
15. Right-of-Way Easement granted to Lincoln County Rural Water System, Inc., as set forth in instrument recorded December 17, 1973, in Book T of Miscellaneous, Page 644. The easement calls for a 30' wide easement centered on the pipeline as constructed. A waterline was located along the north side of Willow St. The easement is as shown on the survey.
16. Right-of-Way Easement granted to Lincoln County Rural Water System, Inc., as set forth in instrument recorded December 17, 1973, in Book T of Miscellaneous, Page 646. Same as item 15 above.
17. Vested Drainage Rights, as set forth in instrument recorded April 12, 1991, in Book 1 of Miscellaneous, Page 898. The document does not provide a specific land description, and drain tiles were not observed during the survey.
18. Vested Drainage Rights, as set forth in instrument recorded April 8, 1992, in Book 2 of Miscellaneous, Page 135. The document does not provide a specific land description, and drain tiles were not observed during the survey.

19. Right-of-Way Easement granted to Lincoln County Rural Water System, Inc., as set forth in instrument recorded May 18, 2001, in Book 11 of Miscellaneous, Page 256. The easement calls for a 30' wide easement centered on the pipeline as constructed. Same as Item 15 above.
20. Right-of-Way Easement granted to Lincoln County Rural Water System, Inc., as set forth in instrument recorded May 18, 2001, in Book 11 of Miscellaneous, Page 259. The easement calls for a 30' wide easement in the SW1/4-SW1/4 of Section 35 and centered on the pipeline as constructed. The easement does not affect the proposed tower site. It is not shown on the survey.
21. Right-of-Way Easement granted to Lincoln County Rural Water System, Inc., as set forth in instrument recorded May 22, 2001, in Book 11 of Miscellaneous, Page 271. The easement calls for a 30' wide easement in the NW1/4-SW1/4 of Section 35 and centered on the pipeline as constructed. The easement does not affect the proposed tower site. It is not shown on the survey.
22. Right-of-Way Easement granted to Lincoln County Rural Water System, Inc., as set forth in instrument recorded May 22, 2001, in Book 11 of Miscellaneous, Page 272. Same as Item 21 above.
23. Right-of-Way Easement granted to Lincoln County Rural Water System, Inc., as set forth in instrument recorded August 8, 2001, in Book 11 of Miscellaneous, Page 389. The easement calls for a 30' wide easement centered on the pipeline as constructed. A waterline was located along the north side of Willow St. The easement is as shown on the survey.
24. Covenants, conditions, restrictions and reservations contained in the Use Restriction/Option to Purchase recorded January 29, 2007, in Book 17 of Miscellaneous, Page 133. Not a plottable survey matter.
25. Covenants, conditions, restrictions and reservations contained in the Agreement to Allow Farming of Land, recorded January 29, 2007, in Book 17 of Miscellaneous, Page 134. Not a plottable survey matter.
26. Covenants, conditions, restrictions and reservations contained in the Agreement to Bring in Utilities, recorded January 29, 2007, in Book 17 of Miscellaneous, Page 135. Not a plottable survey matter.
27. Permanent Utility and Mutual Access Easement granted to the City of Harrisburg, South Dakota, as set forth and shown in instrument recorded December 11, 2008, in Book 18 of Miscellaneous, Page 1085. The easements are as shown on the survey.
28. The limitations, covenants, conditions, restrictions, easements, reservations, exceptions, terms, liens or charges contained in the Deed and Use Restrictions, recorded March 30, 2010, in Book 20 of Miscellaneous, Page 200. Not a plottable survey matter.
29. Gas Easement granted to MidAmerican Energy Company, as set forth in instrument recorded September 16, 2016, in Book 26 of Miscellaneous, Page 537. The document calls for a 10' wide easement centered on the facilities as installed. A gas line was located during the time of survey. The easement is as shown.
30. Agreement for Voluntary Right of Way Donation by and between the City of Harrisburg and Harrisburg School, as set forth and shown in instrument recorded March 6, 2019, in Book 29 of Miscellaneous, Page 111. The document is for a drainage easement in the southeast corner of the parent parcel. The easement is as shown on the survey.
31. Utility easements 12 feet in width and public right-of-way 50 feet in width across portions of the Land, as shown on the plat recorded November 13, 2006, in Book Z of Plats, Page 191. The easements and the public right of way is as shown on the survey.



SHEET 1 OF 2 SHEETS



SITE NAME:
SD09 WEST HARRISBURG

Lincoln County, SD

| No. | Date | REVISIONS | By | CHK | APPD |
|-----------------------------|------|-----------------|--------------|-----|------|
| | | | | | |
| FIELD WORK: 4/3/24 & 4/4/24 | | CHECKED BY: BTB | DRAWN BY: TW | | |

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS REVIEWED BY ME AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.

PRELIMINARY

SIGNATURE: Bryan T. Balcome
BRYAN T. BALCOME, L.S.
DATE: 5/1/24 LICENSE # 7708

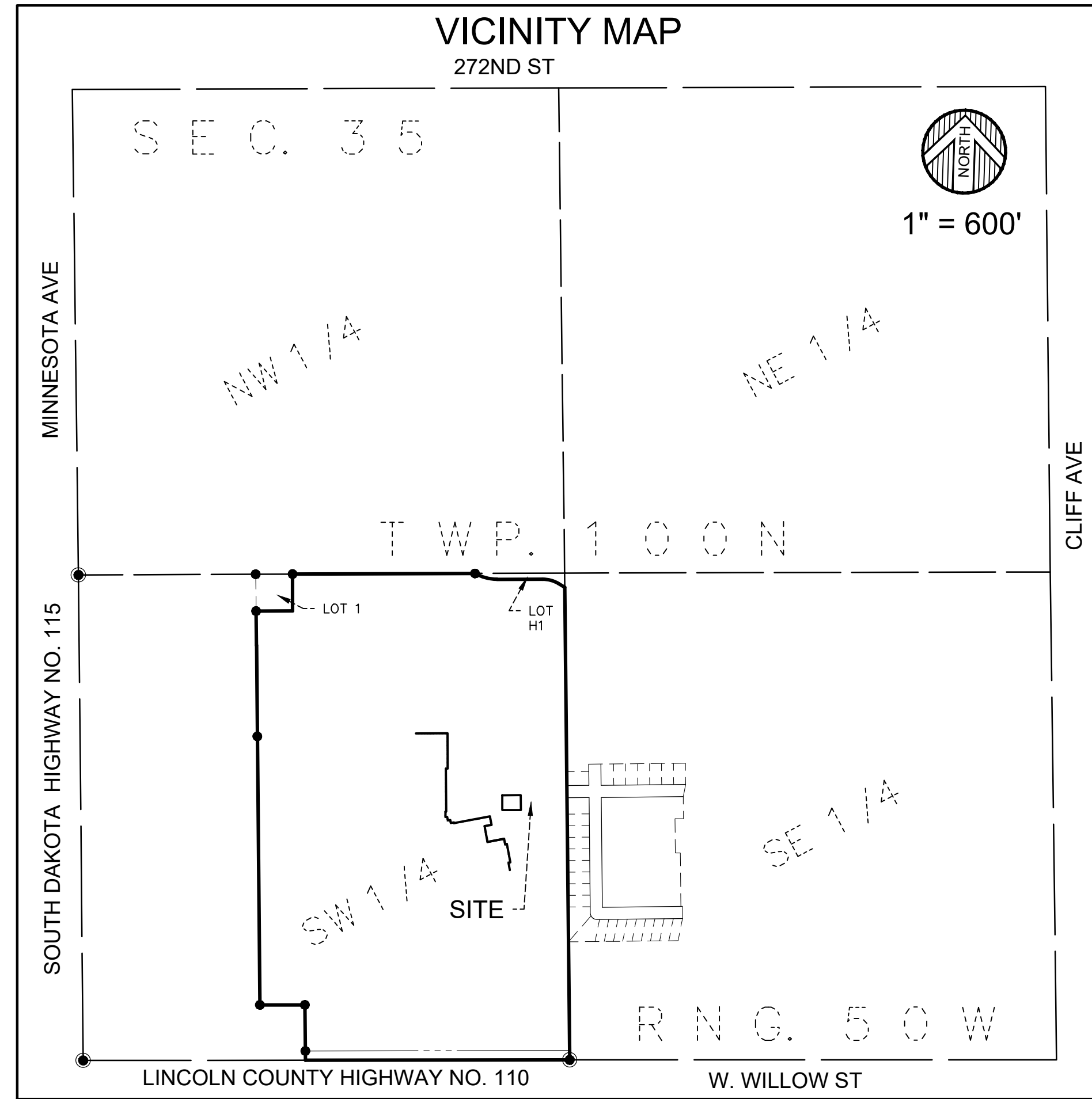
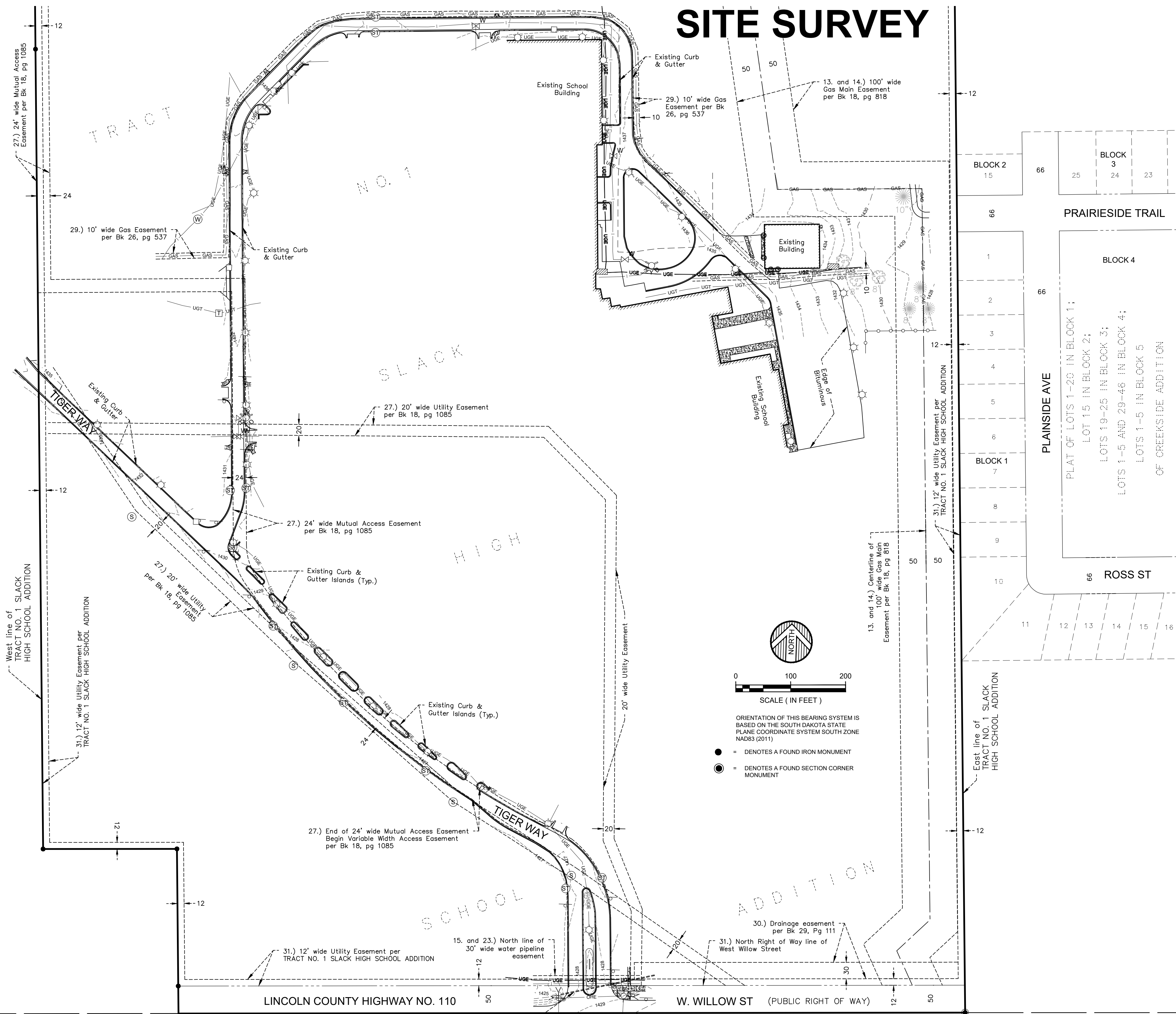
© 2024 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

WIDSETH

ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"
2024-10490

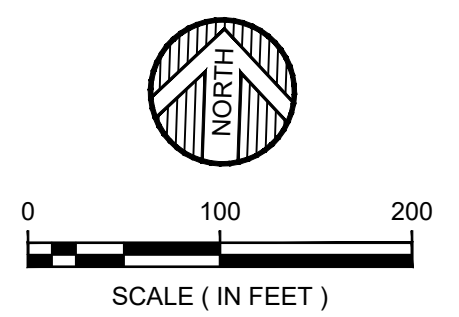
SITE SURVEY



LEGEND

- SIGN SINGLE POST
- TREE DECIDUOUS
- TREE CONIFER
- GUY ANCHOR
- GUARD POST
- ELEC TRANSFORMER BOX
- ELEC LIGHT POLE
- TELE PEDESTAL
- ELEC POLE
- SANITARY MANHOLE
- STORM MANHOLE
- STORM CATCH BASIN
- WATER VALVE
- WATER HYDRANT
- CHAINLINK FENCE
- UNDERGROUND WATERMAIN
- UNDERGROUND ELEC
- UNDERGROUND TELE
- OVERHEAD ELEC
- UNDERGROUND GAS
- SECTION LINE
- QUARTER LINE
- RIGHT OF WAY LINE
- PARCEL BOUNDARY
- EASEMENT LINE
- BUILDING WALL HATCH
- CONCRETE SURFACE

- ### SURVEYOR NOTES:
- The utilities shown on this survey area according to visible evidence along with markings from South Dakota 811 Locate Request Ticket Nos. 2408931520 and 2408931524 dated March 29, 2024, and along with private utility markings from TJ Cable & Underground Services.
 - This drawing has been scaled from South Dakota State Plane Coordinate System South Zone grid distance to ground distance by a scale factor of 1.0001526500.



ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE SOUTH DAKOTA STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD83 (2011)

- = DENOTES A FOUND IRON MONUMENT
- = DENOTES A FOUND SECTION CORNER MONUMENT

SHEET 2 OF 2 SHEETS



SITE NAME:
SD09 WEST HARRISBURG
Lincoln County, SD

| No. | Date | REVISIONS | By | CHK | APPD |
|-----|------|-----------|----|-----|------|
| | | | | | |
| | | | | | |
| | | | | | |

FIELD WORK: 4/3/24 & 4/4/24 CHECKED BY: BTB DRAWN BY: TW

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS REVIEWED BY ME AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.

PRELIMINARY

SIGNATURE: BRYAN T. BALCOMÉ, L.S.
DATE: 5/1/24 LICENSE # 7708

FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"





Obstruction Evaluation
Version 2023-SEP-11

Home

FAA OE/AAA Offices

View Determined Cases

View Interim Cases

View Proposed Cases

View Supplemental Notices
Form 7460-2)

View Circularized Cases

Search Archives

Download Archives

Download Correspondence

Circle Search for Cases

Circle Search for Airports

General FAQs

IG FAQs

Wind Turbine FAQs

Discretionary Review FAQs

Notice Criteria Tool

Distance Calculation Tool

OE/AAA Account

Login

New User Registration

Instructions

Information Resources

FAA Acronyms

Forms

Regulatory Policy

Relevant Advisory Circulars

Survey Accuracy

Light Outage Reporting

Useful Links

State Aviation Contacts

In Airport Contacts

Off Airport Contacts

Notice Criteria Tool

[Notice Criteria Tool - Desk Reference Guide V_2018.2.0](#)

The requirements for filing with the Federal Aviation Administration for proposed structures vary based on a number of factors: height, proximity to an airport, location, and frequencies emitted from the structure, etc. For more details, please reference [CFR Title 14 Part 77.9](#).

You must file with the FAA at least 45 days prior to construction if:

- your structure will exceed 200ft above ground level
- your structure will be in proximity to an airport and will exceed the slope ratio
- your structure involves construction of a traverseway (i.e. highway, railroad, waterway etc..) and once adjusted upward with the appropriate vertical distance would exceed a standard of 77.9(a) or (b)
- your structure will emit frequencies, and does not meet the conditions of the [FAA Co-location Policy](#)
- your structure will be in an instrument approach area and might exceed part 77 Subpart C
- your proposed structure will be in proximity to a navigation facility and may impact the assurance of navigation signal reception
- your structure will be on an airport or heliport
- filing has been requested by the FAA

If you require additional information regarding the filing requirements for your structure, please identify and contact the appropriate FAA representative using the [Air Traffic Areas of Responsibility map](#) for Off Airport construction, or contact the [FAA Airports Region / District Office](#) for On Airport construction.

The tool below will assist in applying Part 77 Notice Criteria.

* Structure Type:

Please select structure type and complete location point information.

Latitude: Deg M S

Longitude: Deg M S

Horizontal Datum:

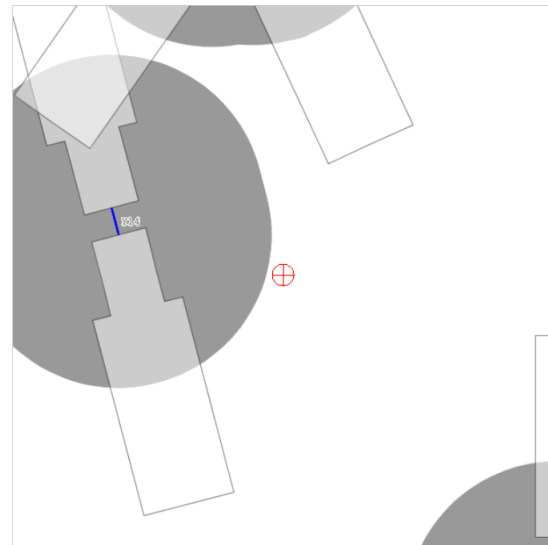
Site Elevation (SE): (nearest foot)

Structure Height: (nearest foot)

Is structure on airport: No Yes

Results

You do not exceed Notice Criteria.



* Federal Airways & Airspace
*
* Summary Report: New Construction
*
* Antenna Structure
*

Airspace User: Kathryn Elasky

File: WESTHARRISBURG

Location: Harrisburg, SD

Latitude: 43°-26'-7.59" Longitude: 96°-43'-6.37"

SITE ELEVATION AMSL.....1433 ft.
STRUCTURE HEIGHT.....99 ft.
OVERALL HEIGHT AMSL.....1532 ft.

NOTICE CRITERIA

FAR 77.9(a): NNR (DNE 200 ft AGL)
FAR 77.9(b): NNR (DNE Notice Slope)
FAR 77.9(c): NNR (Not a Traverse Way)
FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for
Y14
FAR 77.9: NNR FAR 77.9 IFR Notice for FSD
FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required
NNR = Notice Not Required
PNR = Possible Notice Required (depends upon actual IFR
procedure)
For new construction review Air Navigation Facilities at
bottom
of this report.

Notice to the FAA is not required at the analyzed location and
height for
slope, height or Straight-In procedures. Please review the 'Air
Navigation'
section for notice requirements for offset IFR procedures and
EMI.

OBSTRUCTION STANDARDS

FAR 77.17(a)(1): DNE 499 ft AGL
FAR 77.17(a)(2): DNE - Airport Surface

FAR 77.19(a): DNE - Horizontal Surface
 FAR 77.19(b): DNE - Conical Surface
 FAR 77.19(c): DNE - Primary Surface
 FAR 77.19(d): DNE - Approach Surface
 FAR 77.19(e): DNE - Approach Transitional Surface
 FAR 77.19(e): DNE - Abeam Transitional Surface

VFR TRAFFIC PATTERN AIRSPACE FOR: Y14: MARV SKIE-LINCOLN COUNTY

Type: A RD: 22167.8 RE: 1515

FAR 77.17(a)(1): DNE
 FAR 77.17(a)(2): DNE - Height No Greater Than 200 feet

AGL.

VFR Horizontal Surface: DNE
 VFR Conical Surface: DNE
 VFR Primary Surface: DNE
 VFR Approach Surface: DNE
 VFR Transitional Surface: DNE

VFR TRAFFIC PATTERN AIRSPACE FOR: FSD: JOE FOSS FLD

Type: A RD: 50385.23 RE: 1422.3

FAR 77.17(a)(1): DNE
 FAR 77.17(a)(2): DNE - Greater Than 5.99 NM.
 VFR Horizontal Surface: DNE
 VFR Conical Surface: DNE
 VFR Primary Surface: DNE
 VFR Approach Surface: DNE
 VFR Transitional Surface: DNE

TERPS DEPARTURE PROCEDURE (FAA Order 8260.3, Volume 4)

FAR 77.17(a)(3) Departure Surface Criteria (40:1)
 DNE Departure Surface

MINIMUM OBSTACLE CLEARANCE ALTITUDE (MOCA)

FAR 77.17(a)(4): DNE - No Airway Found

PRIVATE LANDING FACILITIES

| ARP | FAA | FACIL | IDENT | TYP | NAME | BEARING | RANGE | DELTA |
|-----------|-----|-------|-------|-----------|------------------------------------------------------------------------------------------|----------|-------|-------|
| | | | | | | To FACIL | IN NM | |
| ELEVATION | IFR | | | | | | | |
| +55 | | 2SD6 | HEL | AVERA | HEART HOSPITAL OF SOUT | 321.31 | 4.3 | |
| | | | | | No Impact to Private Landing Facility Structure is beyond notice limit by 21127 feet. | | | |
| +22 | | 2SD1 | HEL | MC KENNAN | HOSPITAL | 1.45 | 5.92 | |
| | | | | | No Impact to Private Landing Facility Structure is beyond notice limit by 30971 feet. | | | |

AIR NAVIGATION ELECTRONIC FACILITIES

| GRND | FAC | ST | DIST | DELTA | | | | | |
|--------|-------------------------------------------------------------|-------------------------------------------------------------|-------|--------|--------|-------|----------------|-----------|----------|
| ANGLE | IDNT | TYPE | AT | FREQ | VECTOR | (ft) | ELEVA | ST | LOCATION |
| BEAR | ----- | | | | | | | | |
| FOSS F | FSD LOM | I | | | 306.16 | 36277 | +4 | SD RWY 03 | JOE |
| | .01 | No Impact. Does Not Exceed NDB Notice Height Criteria. | | | | | | | |
| .01 | FS NDB | I | 24 | 306.02 | 36294 | +4 | SD ROKKY | | |
| | No Impact. Does Not Exceed NDB Notice Height Criteria. | | | | | | | | |
| FIELD | FSD RADAR ASR | I | 2710. | 351.42 | 55358 | +14 | SD JOE FOSS | | |
| | .01 | Alert. Object Does Not Require Notice to the FAA based upon | | | | | | | |
| EMI. | Maximum Not To Exceed Notice Height is: 1805 ft AMSL | | | | | | | | |
| .04 | FSD RADAR WXL | Y | | 357.14 | 55596 | +37 | SD SIOUX FALLS | | |
| EMI. | Alert. Object does not require notice to the FAA based upon | | | | | | | | |
| | Objects not classified as Large are not considered. | | | | | | | | |
| -.03 | FSD VORTAC | R | 115.0 | 348.00 | 79766 | -39 | SD SIOUX FALLS | | |

5G AIRPORT SAFETY AREA
No Identified 5G conflict.

CFR Title 47, §1.30000-§1.30004
AM STUDY NOT REQUIRED: Structure is not near a FCC licensed AM station.
Movement Method Proof as specified in §73.151(c) is not required.
Please review 'AM Station Report' for details.
Nearest AM Station: KWSN @ 4583 meters.

Airspace® Summary Version 24.1.694

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05-09-2024
18:09:32

City of Harrisburg
Notice of Public Hearing
Planning Commission

Notice is hereby given that the Harrisburg Planning Commission will hold a Public Hearing on March 11, 2025 at 6:00 p.m. or shortly thereafter in the Heritage Board Room, 200 E Willow Street, Harrisburg, SD. The hearing is to receive public input on a request for a Conditional Use Permit for a telecommunications facility on the property legally described Tract No. 1, Slack High School Addition (Parcel ID: 270.73.00.100).

The Planning Commission invites all interested people to attend and offer their comments. Those unable to attend may submit comments in writing, prior to the hearing, to: Harrisburg Planning & Zoning Administrator, PO Box 26, Harrisburg, SD 57032. In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this hearing, please contact the Planning & Zoning Administrator at (605) 743-5872. Anyone who is deaf, hard-of-hearing, or speech-disabled may use Relay South Dakota at 711 (TTY/Voice). Notification 48 hours prior to the hearing will enable the city to make reasonable arrangements to ensure accessibility to this hearing.

Chad Huwe
Planning & Zoning Administrator
City of Harrisburg

Publish February 27, 2025

Published once at the approximate cost of \$ _____.



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032
PHONE: 605-743-5872

Agenda Item Staff Report

Date: March 11, 2025
To: Planning Commission
From: Planning and Building Services

Agenda Item:

Rezone Lot 2 Block 1 of the Rix Addition to the City of Harrisburg, Lincoln County, South Dakota from R-3 Multi-Family Residential to GB General Business.

Public Hearing:

Business Item:

Informational:

Information:

- The applicant is Micheal Verley of S&Z, LLC.

Attachments:

Application
Exhibit
Notice of Public Hearing

Staff Recommendation:



RECEIVED
2/12/2025

Zoning Amendment Application

Application Date: _____
Property Address: 1434 Mary Pl
Legal Description: Lot 2 Block 1 Rix Add
Property size (acres): .508
Current Zoning District: Multi family
Proposed Zoning District: General Business 1
Purpose/Reason for zoning change request: _____

Planning and Zoning
301 E. Willow Street
Harrisburg, SD 57032
buildingservices@harrisburgsd.gov

Parcel # 270.84.01.002

Applicant Name: S+Z, LLC/Michael Verley
Mailing Address: 27091 S. Tallgrass Ave
City/State/Zip: Sioux Falls, SD 57108 Ste 103
Phone: 605-351-3010 Email: msv@mv605.com
Applicant Signature [Signature] Date 2-12-2025

Property Owner: S+Z, LLC
Mailing Address: 27091 S. Tallgrass Ave Ste 103
City/State/Zip: Sioux Falls, SD 57108
Phone: 605-351-3010 Email: msv@mv605.com

I/we hereby petition to change the zoning classification of the property.

Legal Description: Lot 2 Block 1 Rix Add, City of Harrisburg
Property Owner Signature [Signature] Date 2-12-2025

Please submit completed application, detailed plans, and non-refundable fee payment to:
City Hall, 301 E. Willow Street, Harrisburg, SD 57032



Scale: 1" = 200'



File Location: C:\Users\robry\Desktop\2024-10-04 - F2404 - Zoning Change Exhibits DTR\2025_03_07 - Harrisburg Zoning Exhibits.dwg \Pict Date: 3/7/2025 11:30 AM

Overview 1434 Mary Place Harrisburg, South Dakota



3/7/2025 SEI#



 Rezoned

Harrisburg Zoning

Zoning

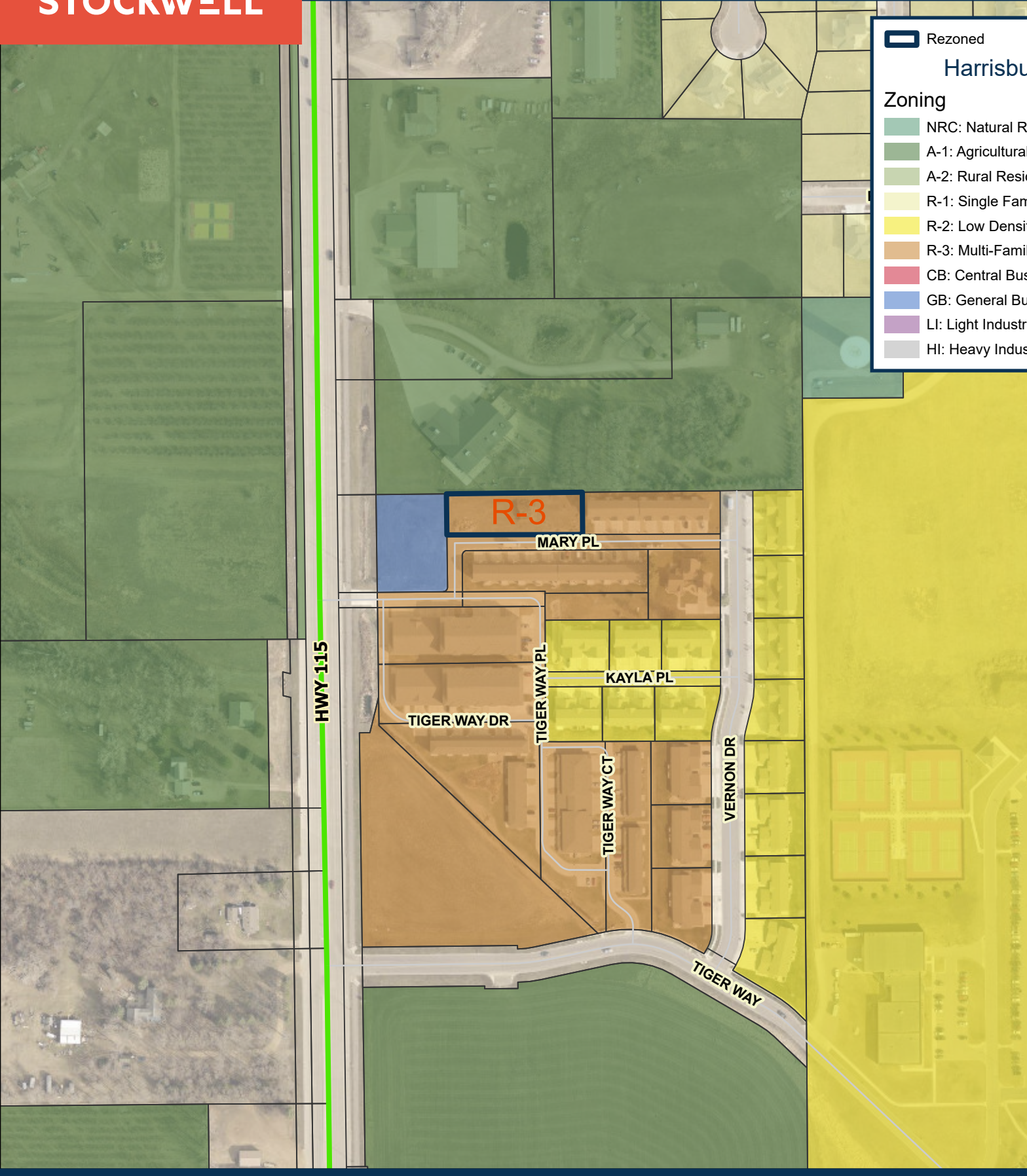
-  NRC: Natural Resource
-  A-1: Agricultural
-  A-2: Rural Residential
-  R-1: Single Family Detached Residential
-  R-2: Low Density Residential
-  R-3: Multi-Family Residential
-  CB: Central Business
-  GB: General Business
-  LI: Light Industrial
-  HI: Heavy Industrial



Scale: 1" = 350'

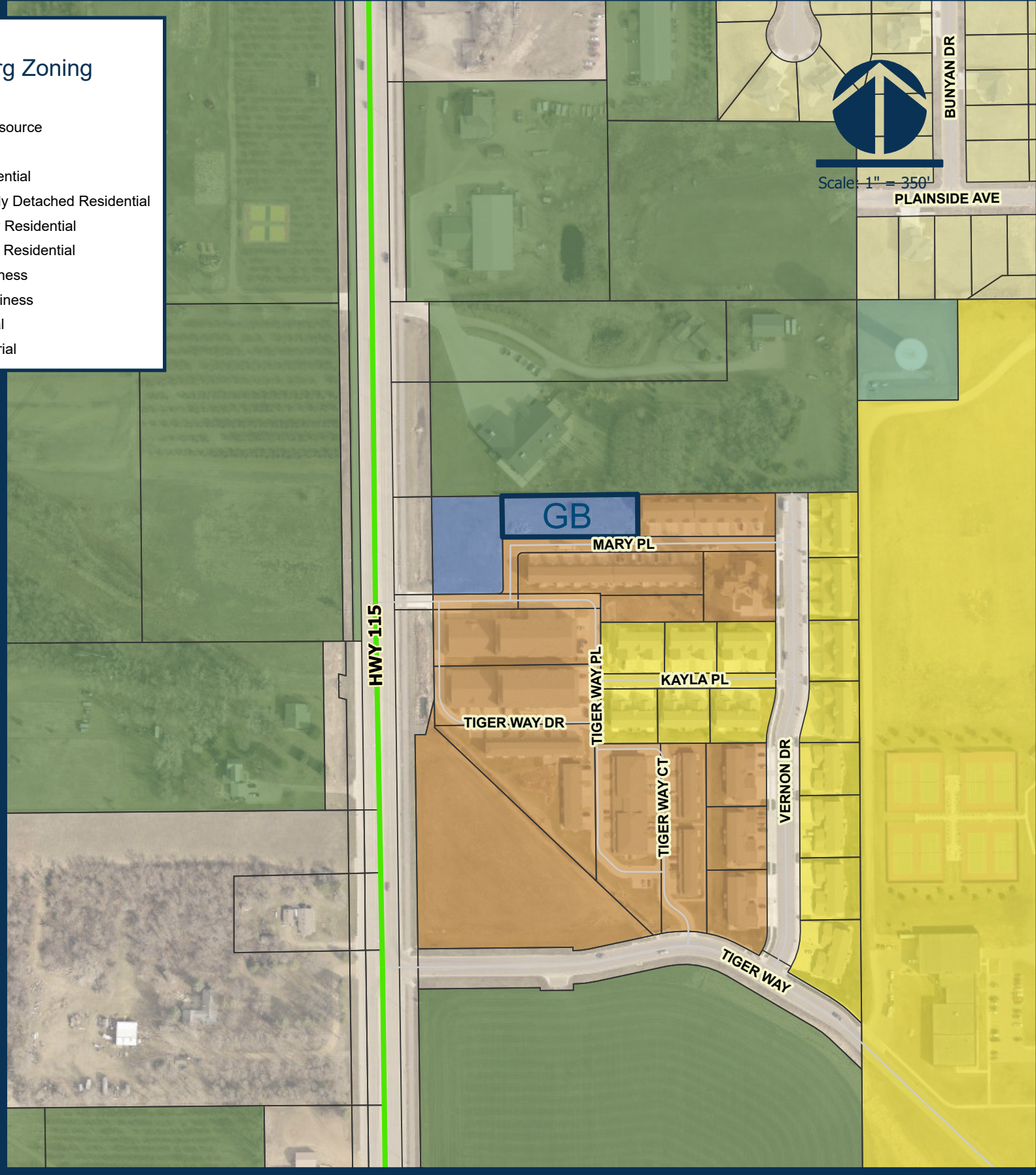
BUNYAN DR

PLAINSIDE AVE



Existing Zoning

LOT 2 BLOCK 1, RIX ADDITION, CITY OF HARRISBURG



Proposed Zoning

LOT 2 BLOCK 1, RIX ADDITION, CITY OF HARRISBURG



DATE 02/10/2025 SET# 04_25XXX



City of Harrisburg
Notice of Public Hearing
Planning Commission

Notice is hereby given that the Harrisburg Planning Commission will hold a Public Hearing on March 11, 2025 at 6:00 p.m. or shortly thereafter in the Heritage Board Room, 200 E Willow Street, Harrisburg, SD. The hearing is to receive public input on a request for a zoning amendment on the property legally described as Lot 2, Block 1, Rix Addition (Parcel ID: 270.84.01.002).

The Planning Commission invites all interested people to attend and offer their comments. Those unable to attend may submit comments in writing, prior to the hearing, to: Harrisburg Planning & Zoning Administrator, PO Box 26, Harrisburg, SD 57032. In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this hearing, please contact the Planning & Zoning Administrator at (605) 743-5872. Anyone who is deaf, hard-of-hearing, or speech-disabled may use Relay South Dakota at 711 (TTY/Voice). Notification 48 hours prior to the hearing will enable the city to make reasonable arrangements to ensure accessibility to this hearing.

Chad Huwe
Planning & Zoning Administrator
City of Harrisburg

Publish February 27, 2025

Published once at the approximate cost of \$ _____.



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032
PHONE: 605-743-5872

Agenda Item Staff Report

Date: March 11, 2025
To: Planning Commission
From: Planning and Building Services

Agenda Item:
Plat of Tracts 1, 2, 3, and 4 of Dakota Farms Addition and Pre-Annexation Agreement.

Public Hearing: Business Item: Informational:

Information:

- The applicant is Leonard Decker.
- The property is on the southeast corner of the intersection of 275th Street and 476th Avenue.
- This land is outside of Harrisburg city limits but is in Harrisburg’s platting subdivision authority.
- This plat creates four, five-acre residential lots for ownership transfer.
- The parent parcel has four existing housing eligibilities.
- The plat dedicates 50 feet of right of way on the south side of 275th Street and the applicant has received an access permit from Dayton Township.
- The pre-annexation agreement outlines the process of voluntary annexation in the future.
- This land is identified for future industrial use in the City’s comprehensive plan.

Attachments:

Application
Plat
Pre-Annexation Agreement

Staff Recommendation:

City of Harrisburg
 301 E Willow St
 Harrisburg, SD 57032
 (605) 767-5010



APPLICATION FOR PLAT APPROVAL

This approval is issued under municipal ordinance 2017-03 of the City of Harrisburg to subdivide land within the City's jurisdiction. Approval expires if plat is not recorded within 90 days of issuance. Provide all information requested throughout the form. Strikeout items that are not applicable. Deliver completed form to City Hall.

Owner Information

Name: Leonard Decker Phone: 605-359-5011
 Address: 29007 477th Ave
 City: Canton State: SD Zip: 57012
 Email: leonardsv@dakotasurveyors.com

Purpose

- The Plat is to transfer ownership per SDCL 11-6-40.1. Lands established are not eligible for building permits.
- The Plat is to vacate and reestablish property lines.
- The Plat is to establish new lands for development.
- The Plat is to establish government use lands.
- Other: _____

Surveyor

Name: Jeffery C. Schlevelbein SD License No: 10141
 Company: Midwest Land Surveying, Inc.
 Email: JeffS@midwestlandsurveying.com
 Total Area Subdivided: 20.03 acres

Applicant

Name: Leonard Decker
 Title: owner

Parent Parcel Legal Description
Government Lots 1&2 NW1/4 18-T99N-R49W, 5th P.M., Lincoln Co., SD

I hereby acknowledge that the information I have provided is correct, that I am authorized to submit this Plat Application and that the plat conforms to the City of Harrisburg's Subdivision Regulations.

Proposed Legal Description:
Tracts 1, 2, 3 and 4 of Dakota Farms Addition NW1/4 18, T99N, R49W, 5th P.M., Lincoln Co., SD

[Signature] 2-25-25
 Applicant Signature Date

- The Plat includes private streets
- The Plat includes lands established for private facilities

For City Use Only

Prerequisites (SR 2.5.2)

- Approved Preliminary Subdivision Plan
- Approved Engineering Submittals

Assurances (SR 4.1)

- Public improvements are required or in progress to serve the lands established. A subdivision construction agreement, performance security and infrastructure permit is required.
- The plat is within the City's Unincorporated Platting Jurisdiction (UPJ). Annexation Agreement is required.

Exemptions (SR 4.3)

- The Authorized Official has determined the plat meets the definition of a minor plat per SR 4.3.1 and is therefore exempt from the Preliminary Plan approval process.
- The plat is a government use plat or cemetery grave plat and is exempt from the City's subdivision Regulations per SR 4.3.2.

Accompaniments

- Non Refundable Application Fee (Required)
- Signed Mylar Original (Required)
- Signed Annexation Agreement (Required in UPJ)
- Signed Subdivision Construction Agreement
- Performance Securities
- Signed Infrastructure Permit
- Other: _____

Reviews Satisfied

- Authorized Official (Required)
- City Engineer (Required)
- City Planning & Zoning Commission (Required in UPJ)
- City Council (Required in UPJ)

Associated Fees

| | | |
|---------------------------------------------------|---------------------------------------------------------|---------------|
| Plat Application Fee (\$400) | \$ | 400.00 |
| Stormwater Basin Dev Fee (\$100 per lot) | \$ | 400.00 |
| Arterial Street Imp Fee (\$1000 per platted acre) | \$ | |
| Open Space Contributions * | \$ | |
| Cost Recovery Fees (CRF) | Columbia CRF (Res 2008-15-17 \$2473.76 /acre) | \$ |
| | Nielson Water Main CRF (Res 2018-25 \$302.29 /acre) | \$ |
| | Nielson Sanitary Sewer CRF (Res 2018-26 \$217.70 /acre) | \$ |
| | Legendary Lift Station CRF (Res 2018-27 \$398.75/acre) | \$ |
| | Commerce Ave CRF (Res 2020-06 \$1881.55 /acre) | \$ |
| | Westside Sewer CRF (Res 2021-22 \$2541.80/acre) | \$ |
| Total Fees | \$ | 800.00 |

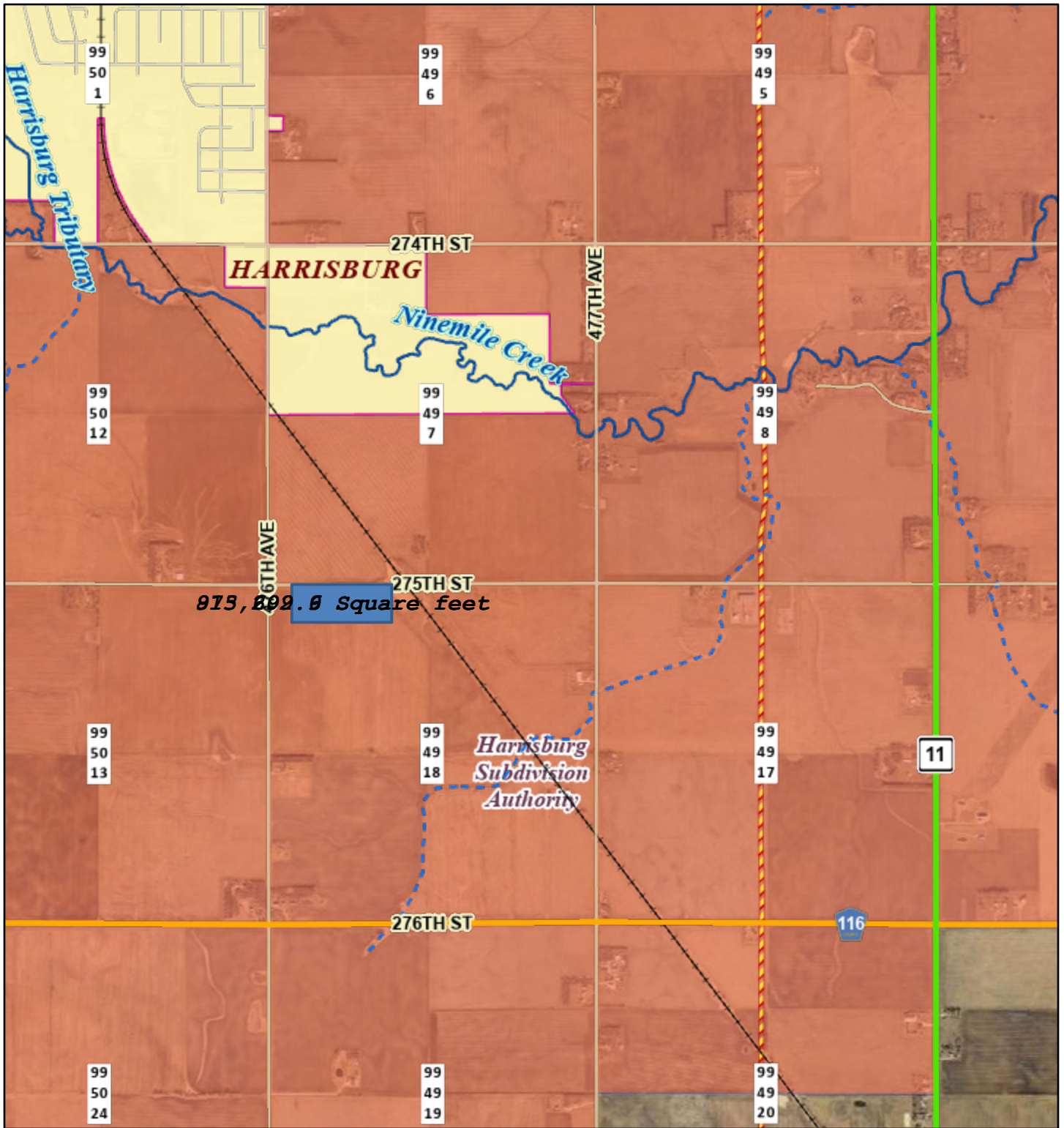
* Deferred per pre-annexation agreement.

Department Use

Application No: _____ Date: _____

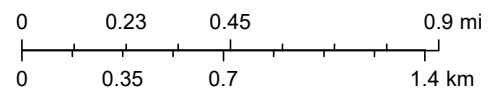
Issued by: _____

Lincoln County Property Map



3/9/2025, 10:11:57 AM

1:36,112



Maxar

June 6, 2024

via email

Mr. Andrew Pietrus
City of Harrisburg
andrew.pietrus@harrisburgsd.gov

04_24039 | SEI No.
Plat for Review | Encl
Jeffery Schievelbein, Midwest Land Surveying | Cc
Chad Huwe, Stockwell Engineers | Cc
Mitch Mergen, Stockwell Engineers | Cc

Re: Plat for Review
Tracts 1, 2, 3 and 4 of Dakota Farms Addition


Dear Mr. Pietrus:

Enclosed please find a plat prepared by a Surveyor licensed and in good standing with the State of South Dakota. Stockwell Engineers reviewed and provided comments as a courtesy to aid the applicant in preparing Its submittals. Compliance with state and local ordinances or other governing agencies is the responsibility of the applicant and its agents. Copies of the City's subdivision regulations, design standards and local ordinances are available at City Hall for the applicant's reference. The Surveyor of record is responsible to ensure the submittals uphold the City's and all other governing agency's requirements in full.

The Surveyor addressed our comments to our satisfaction. We have no further comments and offer our recommendation to accept the plat as an accompaniment to the Subdivider's application. The Surveyor shall certify the plat and deliver final copies to city hall for approval and recording. The application shall also be accompanied by the appropriate fees and annexation agreement. If there are questions regarding our correspondence, please contact our office.

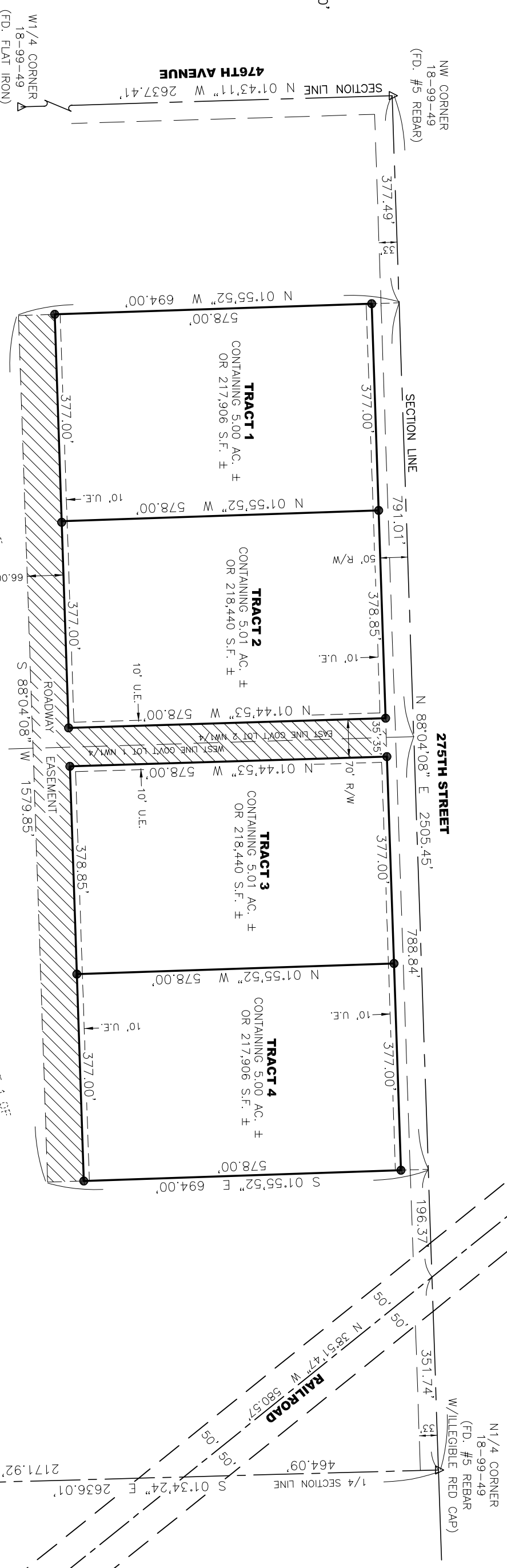
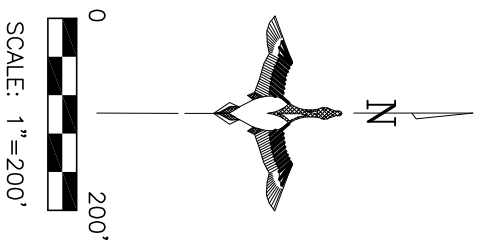
Respectfully submitted,

STOCKWELL ENGINEERS, INC.


Ross Kuchta, PE
Project Engineer

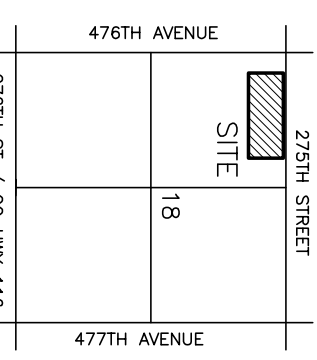
PLAT OF TRACTS 1, 2, 3 AND 4 OF DAKOTA FARMS ADDITION

IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 99 NORTH, RANGE 49 WEST OF THE 5TH PRINCIPAL MERIDIAN, LINCOLN COUNTY, SOUTH DAKOTA.
(TRANSFER OF OWNERSHIP PLAT)



LEGEND:

- SET 5/8" REBAR W/CAP #10141
- FD. MONUMENT
- △ SECTION CORNER (AS NOTED)
- (M) MEASURED DISTANCE
- (R) RECORD INFORMATION
- AC. ACRES
- S.F. SQUARE FEET
- U.E. UTILITY EASEMENT
- R/W RIGHT-OF-WAY
- N.T.S. NOT TO SCALE
- PREVIOUSLY PLATTED LINE
- - - RIGHT OF WAY LINE



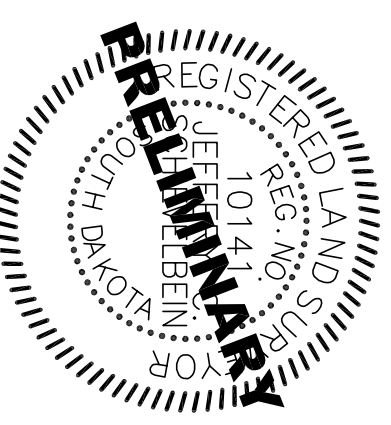
| AREA TABLE | |
|------------|------------|
| STREETS | 0.00 AC.± |
| LOTS | 20.03 AC.± |
| TOTAL | 20.03 AC.± |

NOTES:
BASIS OF BEARINGS IS UTM-ZONE 14

THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. EASEMENTS OF RECORD WERE NOT RESEARCHED AND ARE NOT SHOWN ON THE PLAT.




211 E. 14th street, Sioux Falls, SD 57104 | Phone: (605) 339-8901



PLAT OF TRACTS 1, 2, 3 AND 4 OF DAKOTA FARMS ADDITION

IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 99 NORTH, RANGE 49 WEST OF THE
5TH PRINCIPAL MERIDIAN, LINCOLN COUNTY, SOUTH DAKOTA.

| | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p style="text-align: center;">SURVEYOR'S CERTIFICATE</p> <p>I, Jeffery C. Schievelbein, a Registered Land Surveyor in the State of South Dakota, do hereby state that I did, on or before this date, survey a portion of Government Lots 1 and 2 of the Northwest Quarter of Section 18, Township 99 North, Range 49 West of the 5th Principal Meridian, Lincoln County, South Dakota, and platted the same into Tracts 1, 2, 3 and 4 of Dakota Farms Addition in the Northwest Quarter of Section 18, Township 99 North, Range 49 West of the 5th Principal Meridian, Lincoln County, South Dakota, as shown on the foregoing PLAT.</p> <p>The same shall be known and described as <u>TRACTS 1, 2, 3 AND 4 OF DAKOTA FARMS ADDITION IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 99 NORTH, RANGE 49 WEST OF THE 5TH PRINCIPAL MERIDIAN, LINCOLN COUNTY, SOUTH DAKOTA.</u></p> <p>I further certify that the above PLAT correctly represents the same, is true and correct and that it was made at the request of the owners.</p> <p>Dated this _____ day of _____, 20_____.</p> <div style="text-align: center;">  </div> <p>Jeffery C. Schievelbein, Registered Land Surveyor No. 10141</p> | <p style="text-align: center;">LINCOLN COUNTY HIGHWAY AUTHORITY</p> <p>I, _____ (Name), _____ (Title) of the _____ (Agency), do hereby certify that the location of the proposed access to an abutting subdivision street from the existing public street or highway is hereby approved and any change in the location of said access streets shall require additional approval.</p> <p>By: _____</p> <p>TITLE: _____</p> |
| <p style="text-align: center;">OWNER'S CERTIFICATE</p> <p>We, the undersigned, do hereby certify that we are the owners of all land included in the above plat and that said plat has been made at our request and in accordance with our instructions for the purposes of transfer, and that the development of this land shall conform to all existing applicable zoning, subdivision and erosion and sediment control regulations.</p> <p>We hereby dedicate to the public for public use forever the streets, roads and alleys, parks and public grounds, if any, as shown on said Plat, including all sewers, culverts, bridges, water distribution lines, sidewalks, and other improvements on or under the streets, alleys, parks, and public grounds whether such improvements are shown or not. We also hereby grant easements to run with the land for water, drainage, sewer, gas, electric, telephone, or other public utility lines or services under, on, or over those strips of land designated hereon as easements for the purposes of constructing, maintaining, repairing, and improving said facilities. The owner, their lessees and assignees shall, at their own expense, keep the easement area in good repair and clear of obstructions. No improvements of any kind may be erected within an easement which might interfere in any way with the proper maintenance, use, repair, reconstruction, and patrolling of the easement. This covenant shall run with the land.</p> <p>We further certify the above plat is a Transfer of Ownership Plat subject to provisions of SDCL 11-6-40.1. The lands established herein are not eligible for building permits or incorporating new easements. The entire development process and updated plat is required before a building permit will be allowed.</p> <p>We hereby waive any rights of protest to any special assessment program which may be initiated for the purpose of installation of improvements required by the Subdivision Ordinance of the City of Harrisburg.</p> <p>We do hereby certify that this re-plat will not place any existing lot or building in violation of any applicable ordinance, code, regulation, or law including but not limited to zoning, building, subdivision, and flood prevention.</p> <p>Dated this _____ Day of _____, 20 ____.</p> <p>By: _____ Dakota Farms, LLP</p> <p>Its: _____</p> <p>State of _____ County of _____</p> <p>On this the ____ day of _____, 20____, before me, the undersigned officer, personally appeared _____, who acknowledged themselves to be the _____ of Dakota Farms, LLP, a South Dakota limited liability partnership, and that they, as such _____ being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the LLP by themselves as _____.</p> <p>In witness whereof I hereunto set my hand and official seal.</p> <p>_____ Notary Public – State of _____ My Commission Expires: _____</p> | <p style="text-align: center;">CITY PLANNING COMMISSION</p> <p>Be it resolved by the Planning Commission of the City of Harrisburg, South Dakota that this plat be approved and that the same be presented to the City Council with the recommendation to adopt said plat.</p> <p>Approved this _____ day of _____, 20_____.</p> <p style="text-align: right;">_____ Chairman City of Harrisburg Planning Commission</p> |
| <p style="text-align: center;">CITY COUNCIL RESOLUTION</p> <p>Whereas this Plat has been examined by the City Council of Harrisburg and it appears to the City Council that the system of streets set forth therein conforms to the system of streets of the existing plats of the City, that all provisions of the City's subdivision regulations have been complied with, that all taxes and special assessments upon the tract or subdivision have been fully paid, and that such plat and the survey thereof have been executed according to law.</p> <p>Now therefore, be it resolved by the City Council of Harrisburg, South Dakota that said plat is hereby approved, and the City Finance Officer is hereby directed to endorse on said plat a copy of this resolution and certify the same thereon.</p> <p>Approved this _____ day of _____, 20_____.</p> <p style="text-align: right;">_____ Mayor City of Harrisburg, South Dakota</p> | <p style="text-align: center;">FINANCE OFFICER CERTIFICATE</p> <p>I, _____, the duly appointed, qualified and acting Finance Officer of the City of Harrisburg, South Dakota, hereby certify that the certificate of approval is true and correct including the signature thereon, and that any special assessments which are liens upon the land shown in the above Plat, as shown by the records in my office, on this _____ day of _____, 20_____, have been paid in full.</p> <p style="text-align: right;">_____ City Finance Officer City of Harrisburg, South Dakota</p> |
| <p style="text-align: center;">TREASURER</p> <p>I, the Treasurer of Lincoln County, South Dakota, do hereby certify that all taxes which are liens upon any land shown in the above plat, as shown by the records of my office have been paid in full.</p> <p>Dated this _____ Day of _____, 20 ____.</p> <p style="text-align: right;">_____ TREASURER Lincoln County, South Dakota</p> | <p style="text-align: center;">DIRECTOR OF EQUALIZATION</p> <p>I, the Director of Equalization of Lincoln County, South Dakota, do hereby certify that a copy of the above and foregoing described plat has been filed in my office.</p> <p>Dated this _____ Day of _____, 20 ____.</p> <p style="text-align: right;">_____ DIRECTOR OF EQUALIZATION Lincoln County, South Dakota</p> |
| <p style="text-align: center;">REGISTER OF DEEDS</p> <p>Filed for record this _____ day of _____, 20 _____, at _____ o'clock, ____ m., and recorded in Book _____ of Plats on Page _____.</p> <p style="text-align: right;">_____ REGISTER OF DEEDS Lincoln County, South Dakota</p> | <p style="text-align: center;">REGISTER OF DEEDS</p> <p>_____ REGISTER OF DEEDS Lincoln County, South Dakota</p> |



PREPARED BY:
City of Harrisburg
301 E Willow Street
Harrisburg, SD 57032
605.743.5872

PRE-ANNEXATION AGREEMENT

This Pre-Annexation Agreement (the "Agreement") is made and entered into by and between the City of Harrisburg (the "City") and the undersigned property owners (the "Owner"). The purpose of this Agreement is to set forth the terms and conditions for the voluntary annexation of the Subdivision (defined below) by the City of Harrisburg.

The City and the Owners understand that the City's growth will eventually result in the City's municipal boundary becoming adjacent to the boundary of the Subdivision and that the annexation of the Subdivision will then be possible.

For and in consideration of the annexation of the property described below and the mutual promises set forth herein, the parties agree as follows:

1. Pursuant to SDCL 9-4-1.1, the owners of the property within the Subdivision will submit a Petition for Voluntary Annexation (the "Petition") within sixty days of receipt of a request by the City for the annexation of the real property described as follows

20.03 Acres of Tracts 1, 2, 3 and 4 of Dakota Farm Addition in the Northwest Quarter of Section 18, Township 99 North, Range 49 West of the 5th Principal Meridian, Lincoln County, South Dakota as illustrated in the attached preliminary plat and

Government Lots 1 & 2 of the Northwest Quarter of Section 18, Township 99 North, Range 49 West of the 5th Principal Meridian, Lincoln County, South Dakota except 1.10 Acres of railroad right-of-way (Lincoln County Parcel ID No. 099.49.18.2000 as of June 6, 2024)

(the "Subdivision")

2. The Owners agree that when they submit a Petition for Voluntary Annexation to the City that all of the real property within the Subdivision will be included in and subject to the Petition.
3. Owners agree to connect to City water and sanitary sewer mains within one year of installation of City water and sanitary sewer mains at the Owners' sole expense.
4. Once annexed, the owner agrees not to submit a petition to De-Annex.
5. Owners agree to comply with all existing zoning, building, and property maintenance codes.
6. The City and Owners agree to defer payment and collection of arterial street platting fees and open space contributions until the property is annexed, at which time payment will become due.

This Agreement shall be binding upon, and inure to the benefit of, the Owners and their respective heirs, successors, or assigns, and shall run with the land. This Agreement shall be recorded in the Lincoln County Register of Deeds Office to give notice to the public and all interested parties of the obligations herein.

Nothing in the Agreement shall be construed as requiring the City, at its sole expense, to construct or install any sanitary sewer lines, water distribution lines, or other improvements of any kind upon the Subdivision or extend such public improvements to service the Subdivision.

This Agreement embodies all agreements and representations of the Owners. There are no promises, terms, conditions, or allegations other than those contained herein; and this Agreement supersedes all previous communications, representations, and agreements, whether written or verbal, between the Owners. This Agreement may be modified only in writing and executed by all parties to this Agreement including any new owners of real estate within the Subdivision.

This Agreement may be executed in one or more counterparts, each of which when executed and delivered, shall be an original, but all such counterparts shall constitute one and the same instrument.

Dated this _____ Day of _____, 20_____.

(Signatures begin on next page)

CITY OF HARRISBURG

Derick Wenck, Mayor

Attest:

Deb Harris, Finance Officer

STATE of SOUTH DAKOTA)
)SS
COUNTY OF LINCOLN)

I, the undersigned, a notary public in and for the county and state aforesaid, do hereby certify that Derick Wenck, personally known to me to be the Mayor of the City of Harrisburg, a municipal corporation, and Deb Harris, personally known to me to be the City Finance Officer of said corporation and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such Mayor and City Finance Officer, they signed and delivered the said instrument as Mayor and City Finance Officer of said municipality and caused the corporate seal of said municipality to be affixed thereto pursuant to authority given by the corporate authorities of the City of Harrisburg as their free and voluntary act and as the free and voluntary act and deed of said municipality for the uses and purposes therein set forth.

Given under my hand and official seal this _____ day of _____, 20_____.

(SEAL)

Notary Public, South Dakota
My commission expires _____

OWNER

Dakota Farms, LLP.
Leonard Decker

Dakota Farms, LLP

STATE of SOUTH DAKOTA)
)SS
COUNTY OF LINCOLN)

On this the 29th day of Jan., 2025, before me, appeared Leonard Decker, who acknowledged himself to be the Owner and that he as said owner and being authorized to do so, executed the foregoing instrument for the purposes therein contained.

In witness whereof, I have hereunto set my hand and official seal

(SEAL)

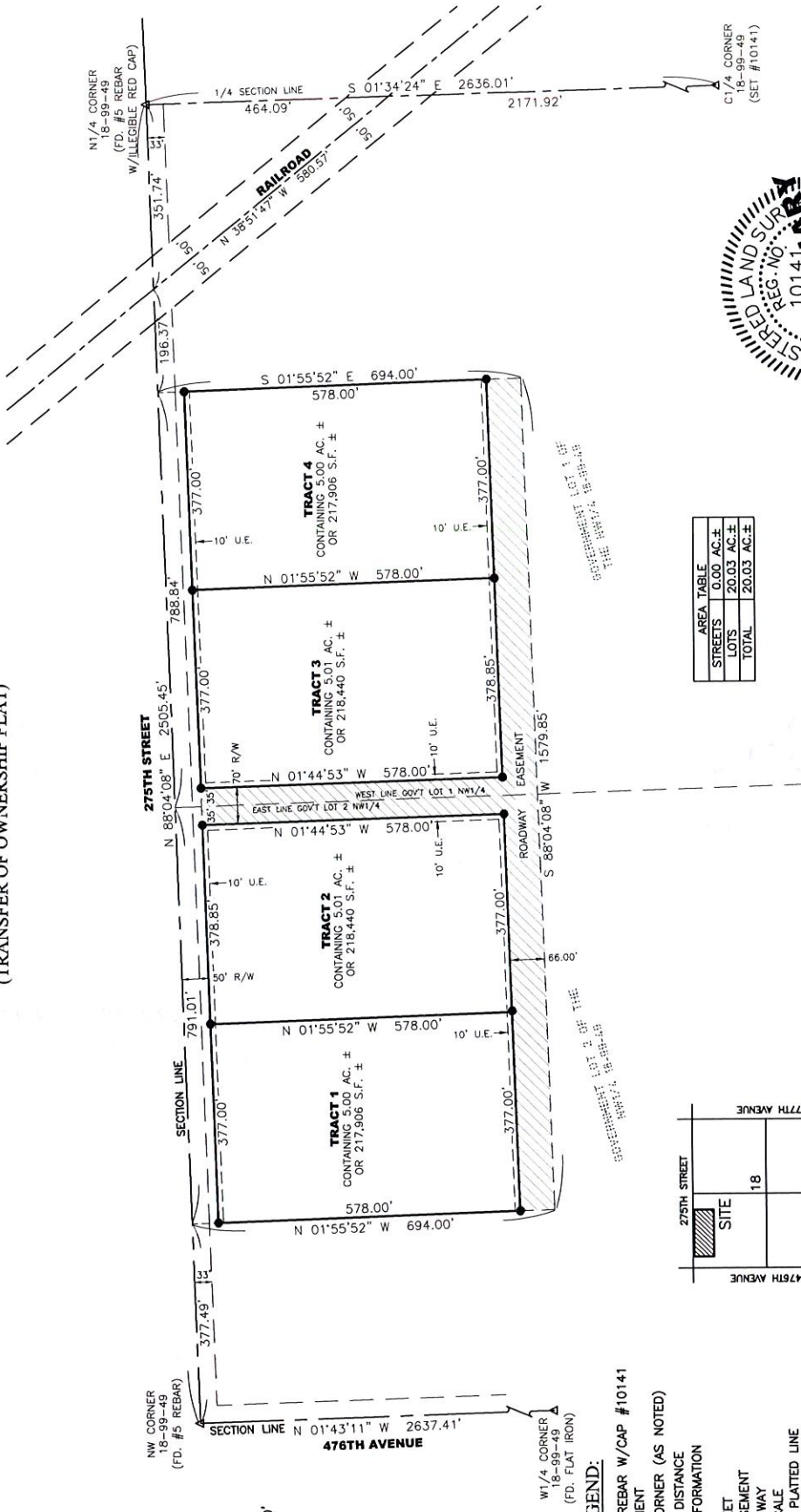
Jeanie Jacobsen
Notary Public, South Dakota
My commission expires
My Commission Expires
October 2, 2025

PLAT OF TRACTS 1, 2, 3 AND 4 OF DAKOTA FARMS ADDITION

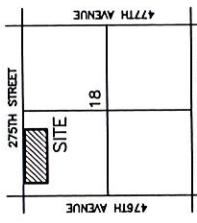
IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 99 NORTH, RANGE 49 WEST OF THE 5TH PRINCIPAL MERIDIAN, LINCOLN COUNTY, SOUTH DAKOTA.
(TRANSFER OF OWNERSHIP PLAT)



SCALE: 1"=200'



| AREA TABLE | |
|------------|------------|
| STREETS | 0.00 AC.± |
| LOTS | 20.03 AC.± |
| TOTAL | 20.03 AC.± |



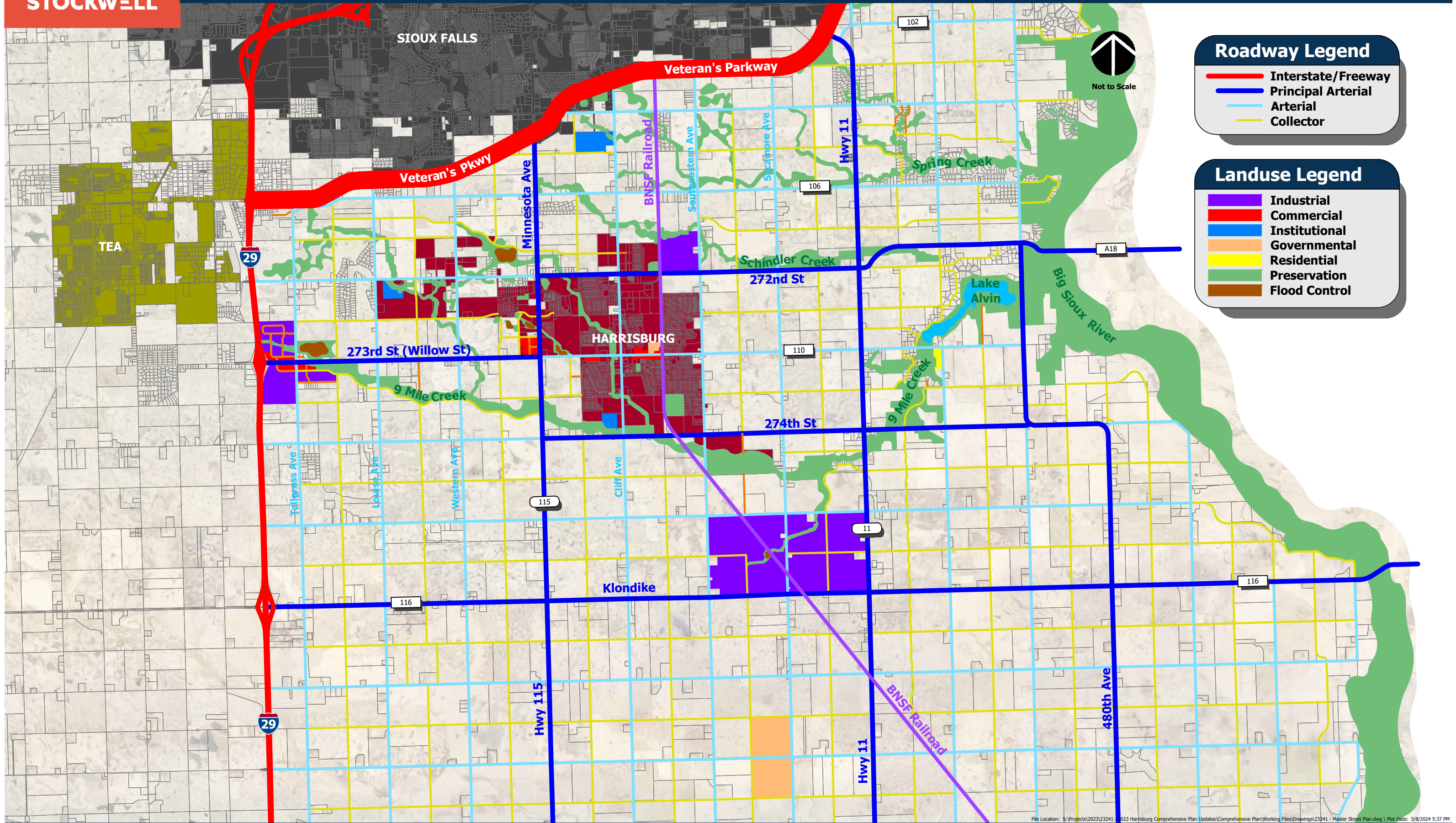
LEGEND:

- SET 5/8" REBAR W/CAP #10141
- FD. MONUMENT
- △ SECTION CORNER (AS NOTED)
- (M) MEASURED DISTANCE
- (R) RECORD INFORMATION
- AC. ACRES
- S.F. SQUARE FEET
- U.E. UTILITY EASEMENT
- R/W RIGHT-OF-WAY
- N.T.S. NOT TO SCALE
- PREVIOUSLY PLATTED LINE
- - - RIGHT OF WAY LINE

NOTES:
BASIS OF BEARINGS IS UTM-ZONE 14
THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
EASEMENTS OF RECORD WERE NOT RESEARCHED AND ARE NOT SHOWN ON THE PLAT.



211 E. 14th Street, Sioux Falls, SD 57104 | Phone: (605) 339-9901



Roadway Legend

- Interstate/Freeway
- Principal Arterial
- Arterial
- Collector

Landuse Legend

- Industrial
- Commercial
- Institutional
- Governmental
- Residential
- Preservation
- Flood Control

File Location: S:\Projects\2023\23241 - 2023 Harrisburg Comprehensive Plan Updates\Comprehensive Plan\Working Files\Drawings\23241 - Master Street Plan.dwg | Plot Date: 5/8/2024 5:37 PM



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032
PHONE: 605-743-5872

Agenda Item Staff Report

Date: March 11, 2025
To: Planning Commission
From: Planning and Building Services

Agenda Item:
Preliminary Plan for Orchard's Edge Addition.

Public Hearing: Business Item: Informational:

Information:

- The applicant is Orchard View Properties.
- This 12.4-acre parcel is 1n the northwest corner of Highway 115 and Willow Street.
- The City's subdivision approval process is discussed in the *City of Harrisburg Ordinance 2021-07 Subdivision Regulations (Revised)* and includes the following steps:
 - Concept Plan
 - **Preliminary Subdivision Plan**
 - Engineering Submittals
 - Plat
- The Preliminary Subdivision Plan is designed to assist the Subdivider and the City with the efficient and timely development of lots and infrastructure throughout a subdivision. Plans will be evaluated for compliance with the City's Design Standards and comprehensive plans for development and infrastructure.
- The requirements of the Preliminary Subdivision Plan are discussed in Chapter 9 of the *Harrisburg Design Standards* and includes the following:
 - Title Page, General Notes, and Existing Conditions
 - Land Use and Phasing Plan and Lot Layouts
 - Plans for Storm Drainage, Sanitary Sewer, Water, Street Lights, and Access
- The City Engineer has reviewed the Preliminary Subdivision Plan, determined the plan complies with state and local regulations, and recommends the acceptance of the Preliminary Subdivision Plan.

Attachments:

Application

Staff Recommendation:

Approve and recommend approval to the City Council.

City of Harrisburg
301 E Willow St
Harrisburg, SD 57032
(605) 767-5010



APPLICATION FOR PRELIMINARY PLAN APPROVAL

This approval is issued under municipal ordinance 2017-03 of the City of Harrisburg to subdivide land within the City's jurisdiction. Approval expires in 4 years of issuance per Subdivision Regulation 4.2.1. Provide all information requested throughout the form. **Strikeout items that are not applicable. Deliver completed form to City Hall.**

Owner Information

Name: Orchard View Properties Phone: 605.201.4968
Address: 27240 SD Highway 115
City: Harrisburg State: SD Zip: 57032
Email: ryan@bhi-construction.com

Engineer

Name: Norman Engineering + Surveying SD License No: 8755
Total Area Subdivided: 12.4 acres

Parent Parcel Legal Description:

Lot 4 & 5 in Tract 3 of Country Orchard's Addition to the City of Harrisburg, Lincoln County, SD along with Vacated Balamor Street lying adjacent thereto; The West 196.5' of East 361' of South 221.68'

Subdivision Name: Orchard's Edge Addition

Applicant

Name: Ryan Olson
Title: Owner

I hereby acknowledge that the information I have provided is correct, that I am authorized to submit this Preliminary Plan Application and that the plan conforms to the City of Harrisburg's Subdivision Regulations.

Applicant Signature

2-26-2025

Date

For City Use Only

Accompaniments

- Non Refundable Application Fee **(Required)**
- PE Certified Preliminary Subdivision Plan **(Required)**
- Other: _____

Reviews Satisfied

- Authorized Official **(Required)**
- City Engineer **(Required)**
- City Planning & Zoning Commission **(Required)**
- City Council **(Required)**

Associated Fees

| | | |
|-------------------------|----|---------------|
| Application Fee (\$300) | \$ | 300.00 |
| | \$ | |
| | \$ | |
| Total Fees | \$ | 300.00 |

PC
2/26/2025

Department Use

Application No: 2025-0039 Date: _____

RECEIVED
2/26/2025

Issued by: _____

February 24, 2025

via email
Heath VonEye
City of Harrisburg
Heath.voneye@harrisburgsd.gov

04_24063 | SEI No.
Preliminary Plan | Encl
Aaron Norman, Norman Engineering | Cc
Chad Huwe, Stockwell Engineers | Cc
Mitch Mergen, Stockwell Engineers | Cc

Re: Preliminary Plan Review
Orchard's Edge Addition

Dear Mr. VonEye:

Enclosed please find a preliminary plan prepared by an Engineer licensed and in good standing with the State of South Dakota. Stockwell Engineers reviewed and provided comments as a courtesy to aid the applicant in preparing its submittals. Compliance with state and local ordinances or other governing agencies is the responsibility of the applicant and its agents. Copies of the City's subdivision regulations, design standards and local ordinances are available at City Hall for the applicant's reference. The Engineer of record is responsible to ensure the submittals uphold the City's and all other governing agency's requirements in full.

The Engineer addressed our comments to our satisfaction. We have no further comments and offer our recommendation to accept the preliminary plan as an accompaniment to the Developer's application. Prior to approval, the developer shall submit CAD drawings to our office for staff's use. If there are questions regarding our correspondence, please contact our office.

Respectfully submitted,

STOCKWELL ENGINEERS, INC.



Ross Kuchta, PE
Project Engineer

6221 E. Silver Maple Circle #2
Sioux Falls, South Dakota 57110
(605) 558-0808

February 13, 2025

Ross Kuchta, PE
Stockwell Engineers
801 N. Phillips Avenue #100
Sioux Falls, SD 57104

**RE: Preliminary Plan Review Comments
Orchard's Edge Addition**

Dear Mr. Kuchta:

We have addressed the review comments dated 01/27/2025 for the Preliminary Plan for Orchard's Edge Addition. Below are our responses:

General Comments:

1. At a minimum provide a narrative of how the lighting requirements will be met, including the provider and generally how lights will be spaced throughout the subdivision.
 - a. Narrative has been included.

Title Page:

1. Add certificates of approval for City Council, City Finance Officer, City Planning Commission, Authorized Official, and City Engineer.
 - a. Certificates have been included on the Title Page.

General Notes:

1. The updated note included "Storm Sewer" as an anticipated request for oversizing reimbursement. Private storm sewer pipe is not eligible for oversizing reimbursement. If there are no items eligible for oversizing reimbursement, state "none".
 - a. Note has been revised.
2. Under the Expectations for City Reimbursement note, add a reference to the City's TIF Policy. The City is in the process of developing a Policy for Tax Increment Financing.
 - a. Note has been included.

Lot Layout / Easements:

1. Remove the setback lines from this plan section, as that will only be applicable to individual site plans.
 - a. Setback lines have been removed.
2. Remove the Storm Sewer and Drainage Easements for private facilities.
 - a. Proposed storm sewer easements have been removed.
3. Show extension of Water Main and Sanitary Sewer Easements to the north property line of the development.
 - a. Water main and sanitary sewer have been revised.
4. Show Sanitary Sewer and Water Main Easements across Lot 1 where utility stubs are provided to serve Tract 3 of Country Orchards Addition.
 - a. Easements have been included.
5. Illustrate an access easement for the secondary fire access connection for emergency vehicles between McIntosh Drive and SD Highway 115.
 - a. Access easement has been included.

6221 E. Silver Maple Circle #2
Sioux Falls, South Dakota 57110
(605) 558-0808

Drainage Plan:

1. Grading for the detention pond extends outside of the property limits. Verify that work has been coordinated with and approved by impacted property owners.
 - a. Proposed grading work has been coordinated.
2. Size of the detention pond will not be reviewed at this time. Review of detention pond size will occur during the engineering submittal review.
 - a. Comment noted.

Sanitary Sewer Layout:

1. Add manholes at the ends of sanitary sewer stubouts for future development connections.
 - a. Manholes have been included.

Water Distribution Layout:

1. Add temporary hydrants to the ends of water main stubouts for future development connections.
 - a. Hydrants have been included.

Access Plan:

1. Illustrate that the curves and bends on McIntosh Drive meet the minimum turning radius requirements for emergency access vehicles.
 - a. Emergency access vehicle turning movement has been added.
2. At minimum provide a narrative of how the pedestrian circulation will be incorporated to connect each lot and meet the goals of the City's comprehensive plan.
 - a. Narrative has been included.
3. Illustrate approximate locations of future sidewalks along both Willow Street and Highway 115. Add notes indicating that the sidewalks will be constructed as part of individual site plans.
 - a. Future sidewalk has been included.

If you have any questions or require any additional information for approval, please feel free to contact us.

Respectfully submitted,



Aaron Norman, PE, LS

Plans By:



Index of Sheets:

| | |
|-------------------|--------------------------------------------|
| Sheet C1.0 - C1.2 | Title Page, Typical Section, General Notes |
| Sheet C2.0 | Existing Conditions |
| Sheet C3.0 | Land Use Layout |
| Sheet C4.0 | Phasing Layouts |
| Sheet C5.0 - C5.1 | Lot Layout, Easements |
| Sheet C6.0 | Drainage Layout |
| Sheet C7.0 - C7.1 | Utility Layouts |
| Sheet C8.0 | Access Layout |

Owner Representative:

BHI Contractors
 Ryan Olson
 27240 SD Hwy 115
 Harrisburg, SD 57032
 (605) 201-4968
 Ryan@bhi-construction.com

Engineer:

Norman Engineering, Inc.
 Aaron Norman, PE, LS
 6221 E. Silver Maple Circle #2
 Sioux Falls, SD 57110
 aaron@normanengineeringinc.com
 (605) 558-0808

Legal Description:

Lot 4 & 5 in Tract 3 of Country Orchard's Addition to the City of Harrisburg, Lincoln County, SD along with Vacated Balamor Street lying adjacent thereto; The West 196.5' of East 361' of South 221.68' SE1/4 34-100-50, Lincoln County, SD; and Lots A & B (Except Lot H-1) in the SE1/4 34-100-50, Lincoln County, SD

Survey Information:

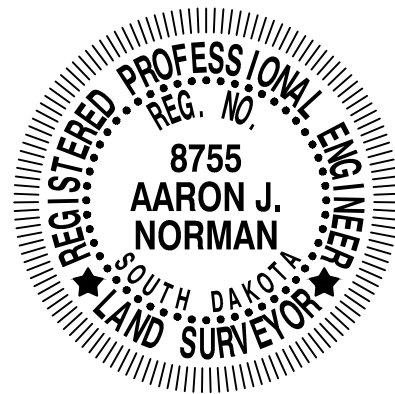
Date of Survey: 04.09.2024
 Horizontal Datum: UTM Zone 14 North, Ground Coordinates
 Vertical Datum: NAVD 88

Project Area:

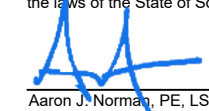
±12.4 Acres

Benchmark:

PIN #11: 2242917.99E 15784968.85N - Elev 1436.66
 BM - Southwest Property Pin of Lot 4 in Tract 3



I, Aaron J. Norman, hereby certify that these plans were prepared by me, or under my direct supervision and that I am a duly registered engineer under the laws of the State of South Dakota.


 Aaron J. Norman, PE, LS

SD No. 8755

Date 02.13.2025

City of Harrisburg

Lincoln County

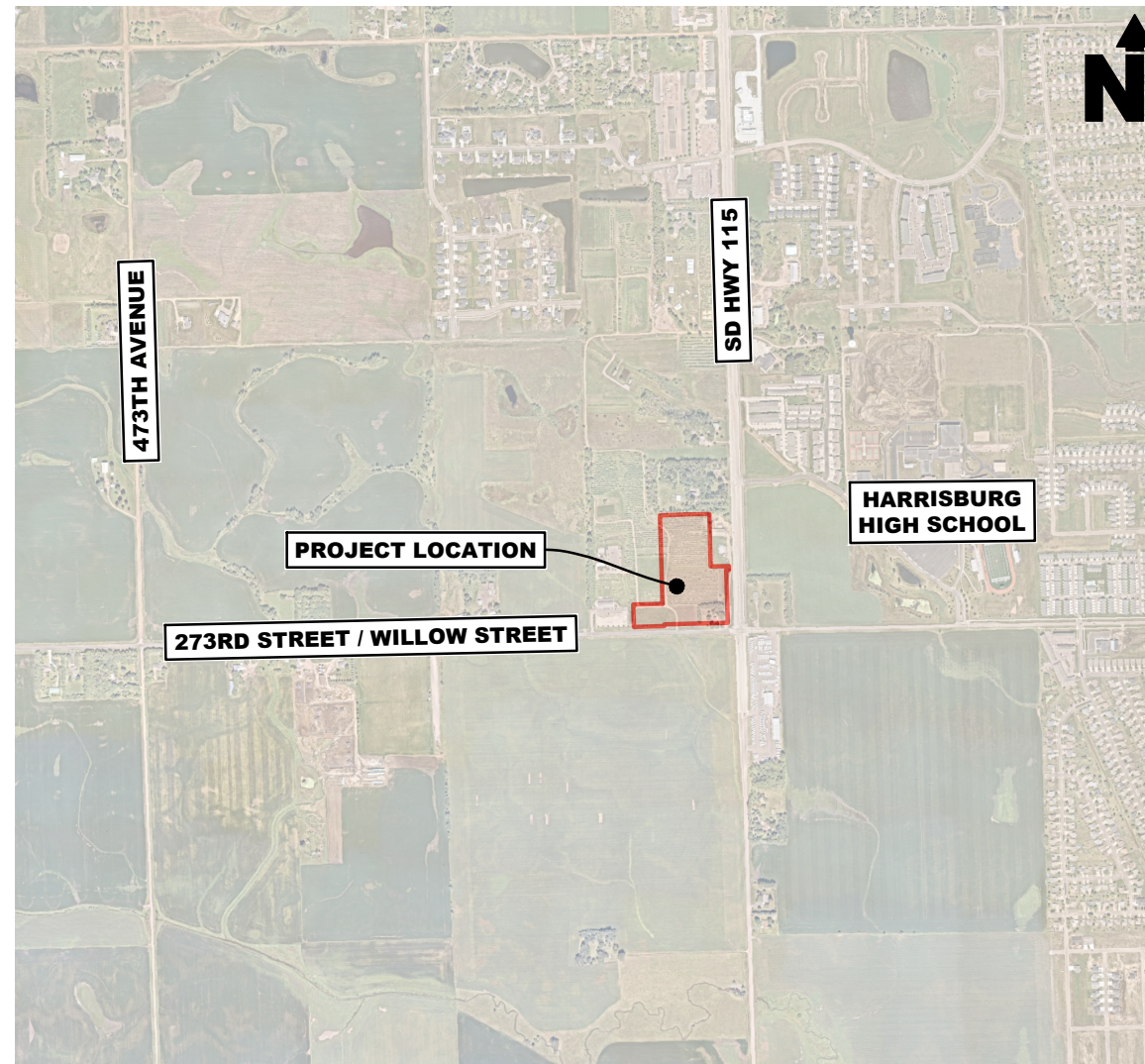
Preliminary Development Plans

Orchard's Edge Addition

Willow Street & SD Highway #11

NES: 24.02.001

Location Map



South Dakota One-Call:

Drawing indicates general utility locations only. Neither the correctness or completeness of locations are guaranteed. Contact South Dakota One Call prior to excavations.

CITY COUNCIL APPROVAL

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HARRISBURG, THAT THE PRELIMINARY SUBDIVISION PLAN OF LOTS 4 & 5 IN TRACT 3 OF COUNTRY ORCHARD'S ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SD ALONG WITH VACATED BALAMOR STREET LYING ADJACENT THERETO; THE WEST 196.5' OF EAST 361' OF SOUTH 221.68' SE1/4 34-100-50, LINCOLN COUNTY, SOUTH DAKOTA; AND LOTS A & B (EXCEPT LOT H-1) IN THE SE1/4 34-100-50, LINCOLN COUNTY, SOUTH DAKOTA IS HEREBY APPROVED AND THE THE FINANCE OFFICER OF THE CITY OF HARRISBURG IS HEREBY DIRECTED TO ENDORSE ON SUCH PLAN A COPY OF THIS RESOLUTION AND CERTIFY THE SAME THEREON.

 MAYOR, CITY OF HARRISBURG

ATTEST:

 CITY FINANCE OFFICER
 CITY OF HARRISBURG

STATE OF SOUTH DAKOTA)
)SS
 COUNTY OF LINCOLN)

I, _____, THE DULY APPOINTED, QUALIFIED, AND ACTING CITY FINANCE OFFICER OF THE CITY OF HARRISBURG, SOUTH DAKOTA HEREBY CERTIFY THAT THE ABOVE RESOLUTION IS A TRUE AND CORRECT COPY OF THE RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF HARRISBURG, AT A MEETING HELD ON THE _____ DAY OF _____, 2025.

WITNESS MY HAND AS CITY FINANCE OFFICER AND THE OFFICIAL SEAL OF THE CITY OF HARRISBURG, SOUTH DAKOTA.

 CITY FINANCE OFFICER
 CITY OF HARRISBURG

CITY ENGINEER APPROVAL

I, _____, CITY ENGINEER OF THE CITY OF HARRISBURG, DO HEREBY CERTIFY THAT I DID DULY REVIEW AND RECOMMEND APPROVAL OF THIS PRELIMINARY PLAN ON THIS _____ DAY OF _____ 2025.

 CITY ENGINEER
 CITY OF HARRISBURG

CITY PLANNING AND ZONING ADMINISTRATOR APPROVAL

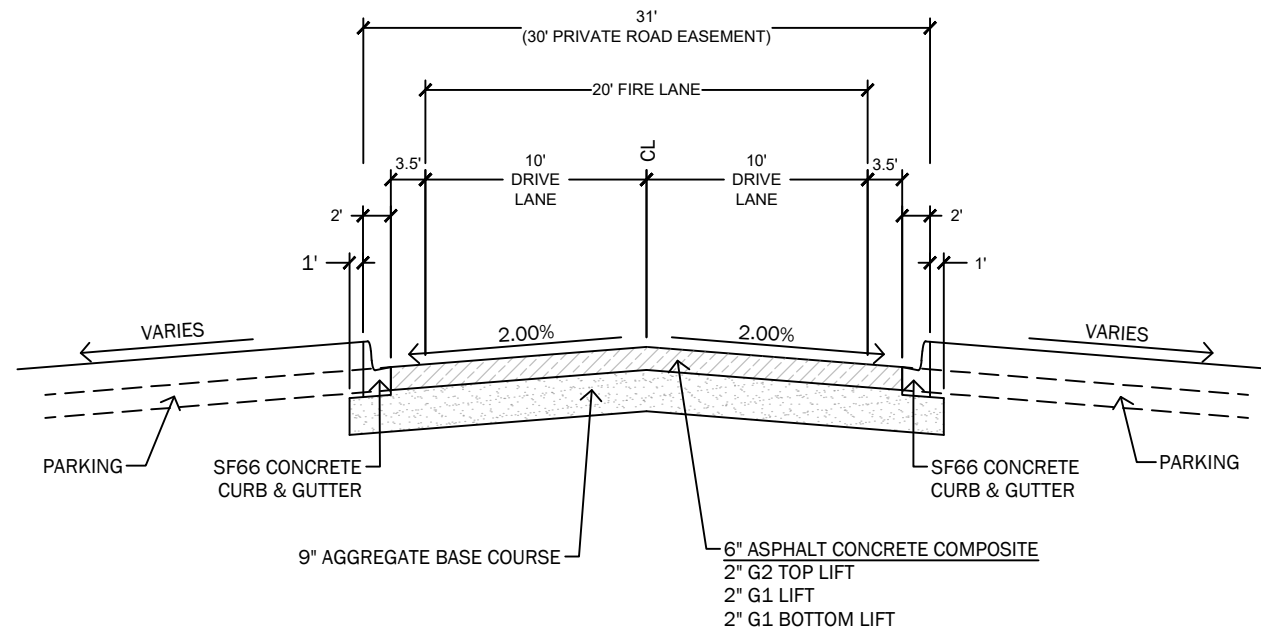
I, _____, CITY PLANNING AND ZONING ADMINISTRATOR OF THE CITY OF HARRISBURG, DO HEREBY CERTIFY THAT I DID DULY REVIEW AND RECOMMEND APPROVAL OF THIS _____ DAY OF _____ 2025.

 CITY PLANNING AND ZONING ADMINISTRATOR
 CITY OF HARRISBURG, SOUTH DAKOTA

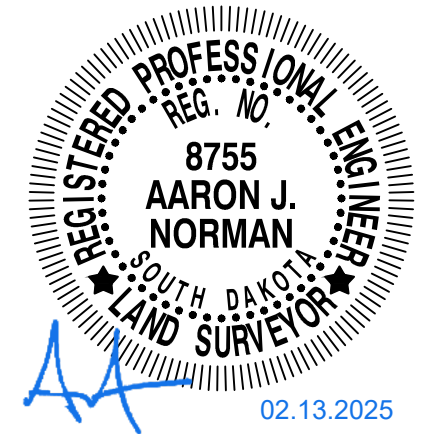
CITY PLANNING COMMISSION APPROVAL

THE CITY PLANNING COMMISSION OF THE CITY OF HARRISBURG APPROVES THE PRELIMINARY PLAN OF LOTS 4 & 5 IN TRACT 3 OF COUNTRY ORCHARD'S ADDITION TO THE CITY OF HARRISBURG, LINCOLN COUNTY, SD ALONG WITH VACATED BALAMOR STREET LYING ADJACENT THERETO; THE WEST 196.5' OF EAST 361' OF SOUTH 221.68' SE1/4 34-100-50, LINCOLN COUNTY, SOUTH DAKOTA; AND LOTS A & B (EXCEPT LOT H-1) IN THE SE1/4 34-100-50, LINCOLN COUNTY, SOUTH DAKOTA AND THE SAME IS RECOMMENDED TO THE CITY COUNCIL OF THE CITY OF HARRISBURG FOR APPROVAL.

 CITY PLANNING COMMISSION
 (CHAIR)



TYPICAL SECTION - 30'
NOT TO SCALE



SUPPLEMENTAL PROVISIONS TO CITY STANDARDS:

- NONE.

EXCEPTIONS FOR CITY REIMBURSEMENTS:

- DEVELOPER WILL SUBMIT APPLICATION FOR TIF FUNDING PER CITY OF HARRISBURG TAX INCREMENT FINANCING POLICY.
- DEVELOPER WILL REQUEST OVERSIZING IN COMPLIANCE WITH RESOLUTION 2019-16.
 - EXPECTED REQUESTS: NONE

INTENSIONS OF OWNERSHIP AND MAINTENANCE OF IMPROVEMENTS:

- PRIVATE DETENTION FACILITY
- PRIVATE ROADWAYS
- PUBLIC DEDICATION OF UTILITY MAINS WITHIN PROPOSED EASEMENTS.

ANTICIPATED PLANS FOR MITIGATION:

- NONE - THERE ARE NO WATERS OF THE UNITED STATES LOCATED WITHIN THE SITE BOUNDARY.

IMPACTS TO FLOOD PLAIN:

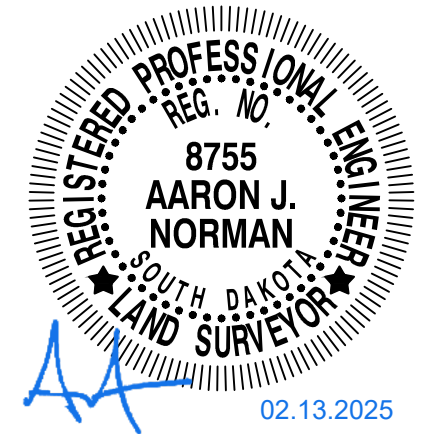
- NO IMPACTS TO THE FLOOD PLAIN. SITE IS LOCATED WITHIN ZONE X PER MAP NUMBER 46083C0161C

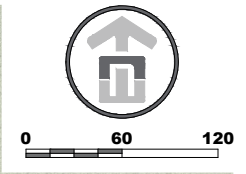
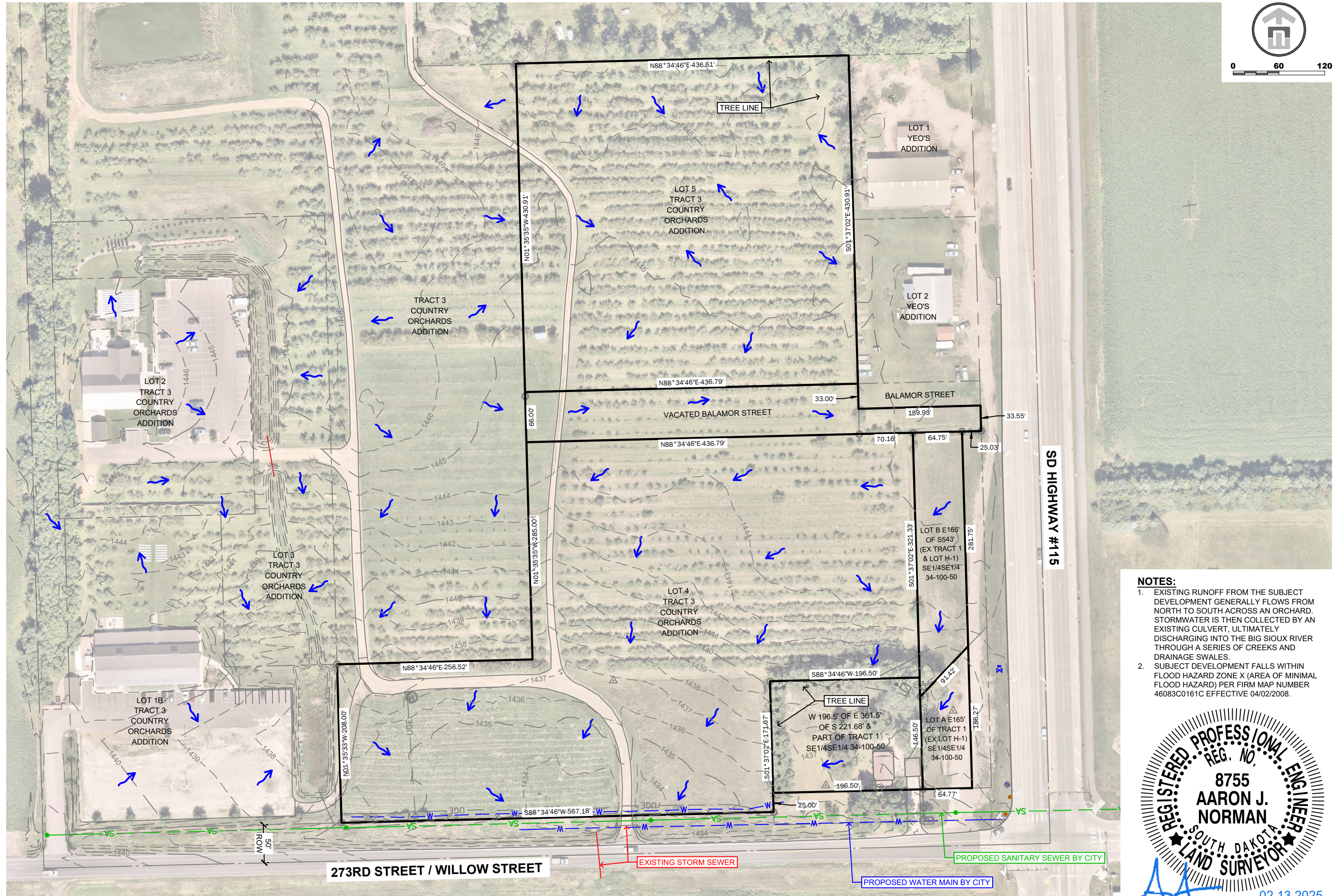
INTENT FOR PUBLIC SPACE CONTRIBUTIONS:

- NONE (DEVELOPER WILL PAY PUBLIC SPACE CONTRIBUTION FEE AS OUTLINED IN THE SUBDIVISION REGULATIONS)

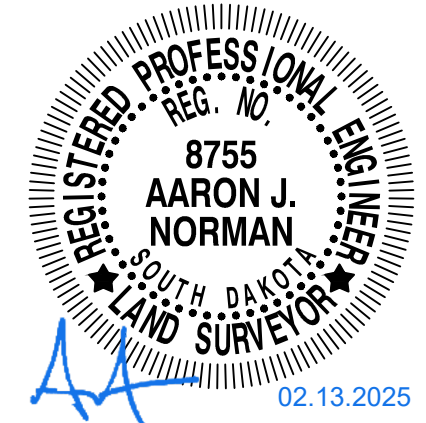
SPECIAL NOTES:

- MCINTOSH DRIVE IS A PRIVATE ROADWAY AND WILL NOT INCLUDE A PUBLIC STREET LIGHTING SYSTEM. PROPOSED STREET LIGHTS SHALL CONFORM TO THE CITY OF HARRISBURG'S ENGINEERING DESIGN STANDARDS AND SHALL BE SERVICED BY SOUTHEASTERN ELECTRIC CO-OP.
 - LUMINAIRE POLE SPACING: 200'
 - POLE MOUNTING HEIGHT: 20'
 - POLE ARM LENGTH: 8'
 - LUMINAIRE CLASS: 4K
 - LUMINAIRE POLES SHALL MATCH EXISTING POLES INSTALLED WITH PHASE I DEVELOPMENT
- MCINTOSH DRIVE IS A PRIVATE ROADWAY AND WILL NOT INCLUDE A PUBLIC SIDEWALK. THE ADJACENT PROPERTY OWNER(S) ARE RESPONSIBLE FOR SIDEWALK CONNECTIVITY AND CIRCULATION. THE PROPOSED SIDEWALK NETWORK WILL ULTIMATELY CONNECT TO THE FUTURE HIGHWAY 115 SIDE PATH AND WILLOW STREET SIDE PATH, AND ALIGN WITH THE GOALS OF THE CITY OF HARRISBURG'S COMPREHENSIVE PLAN.





- NOTES:**
- EXISTING RUNOFF FROM THE SUBJECT DEVELOPMENT GENERALLY FLOWS FROM NORTH TO SOUTH ACROSS AN ORCHARD. STORMWATER IS THEN COLLECTED BY AN EXISTING CULVERT, ULTIMATELY DISCHARGING INTO THE BIG SIOUX RIVER THROUGH A SERIES OF CREEKS AND DRAINAGE SWALES.
 - SUBJECT DEVELOPMENT FALLS WITHIN FLOOD HAZARD ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FIRM MAP NUMBER 46083C0161C EFFECTIVE 04/02/2008.



02.13.2025

**Preliminary Development Plans
Orchard's Edge Addition
Harrisburg, SD**

Existing Conditions

Revisions:

NES Project #: 24.02.001
Plot Date: 2025.02.12
Designed by: AJN
Drawn By: JRK
Checked By: AJN

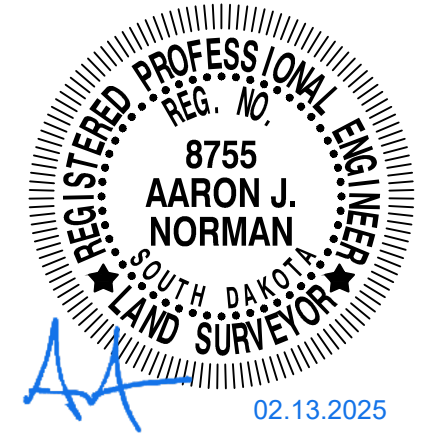


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- NOTES:**
1. NO SCHOOLS, LIBRARIES, FIRE STATIONS, PARKS, WATERWAYS, CHURCHES, OR ANY OTHER SPECIAL USE FACILITIES PRESENT. NO PARKS AND RECREATIONAL FACILITIES ARE PROPOSED.
 2. SITE IS CURRENTLY ZONED AGRICULTURAL.



**Preliminary Development Plans
Orchard's Edge Addition
Harrisburg, SD**

Land Use Layout

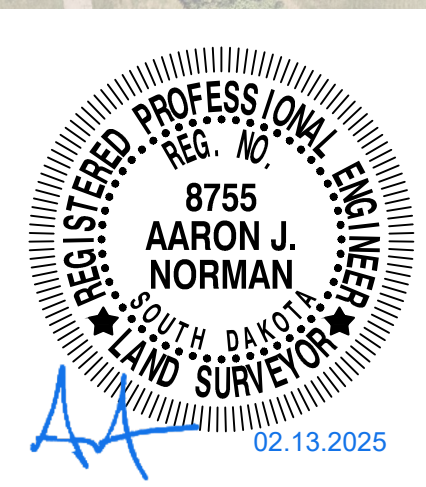
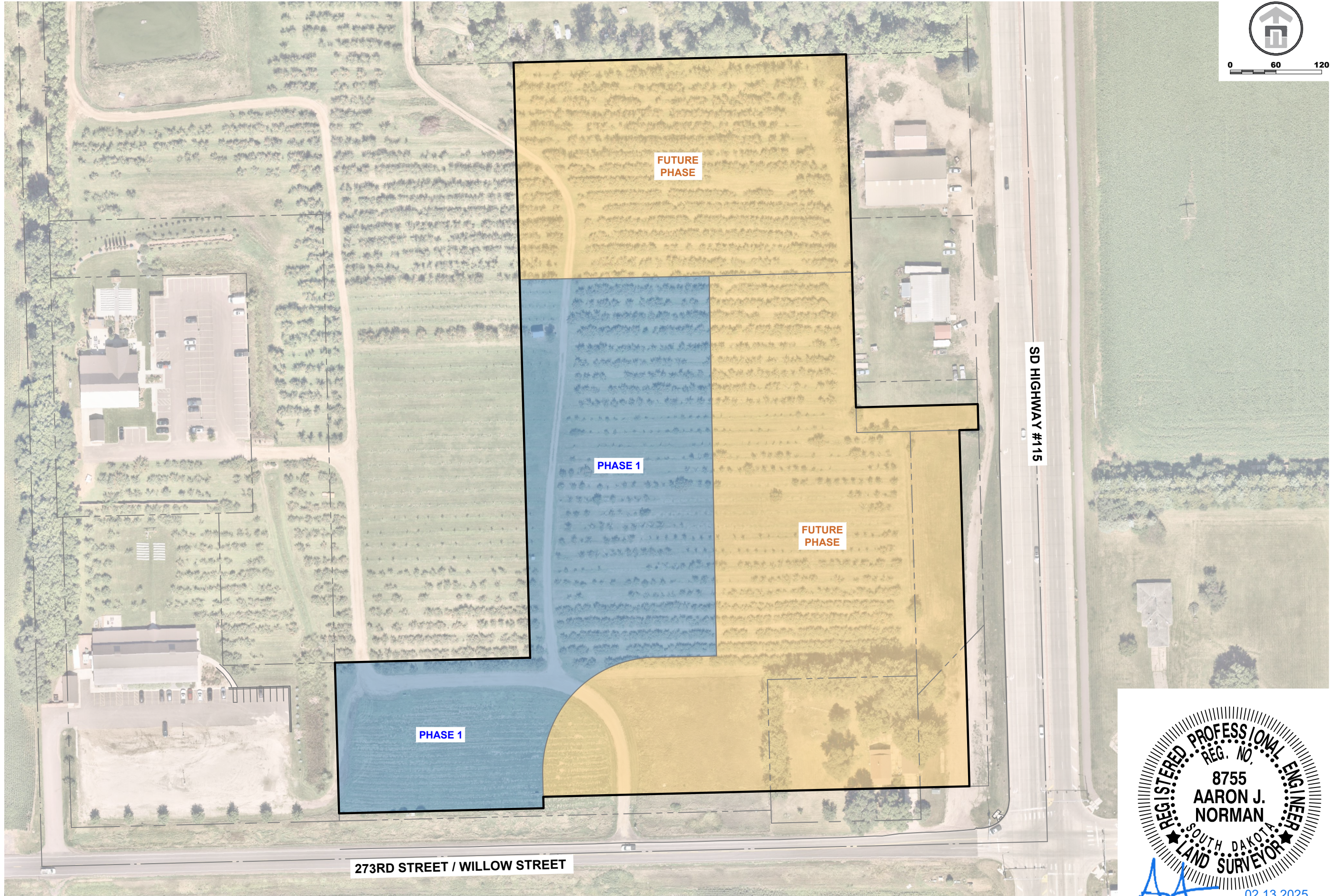
Revisions:

NES Project #: 24.02.001
Plot Date: 2025.02.12
Designed by: AJN
Drawn By: JJK
Checked By: AJN

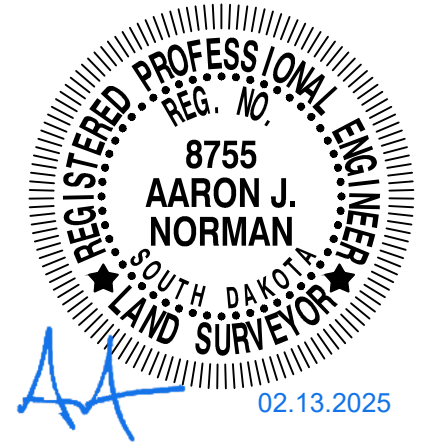


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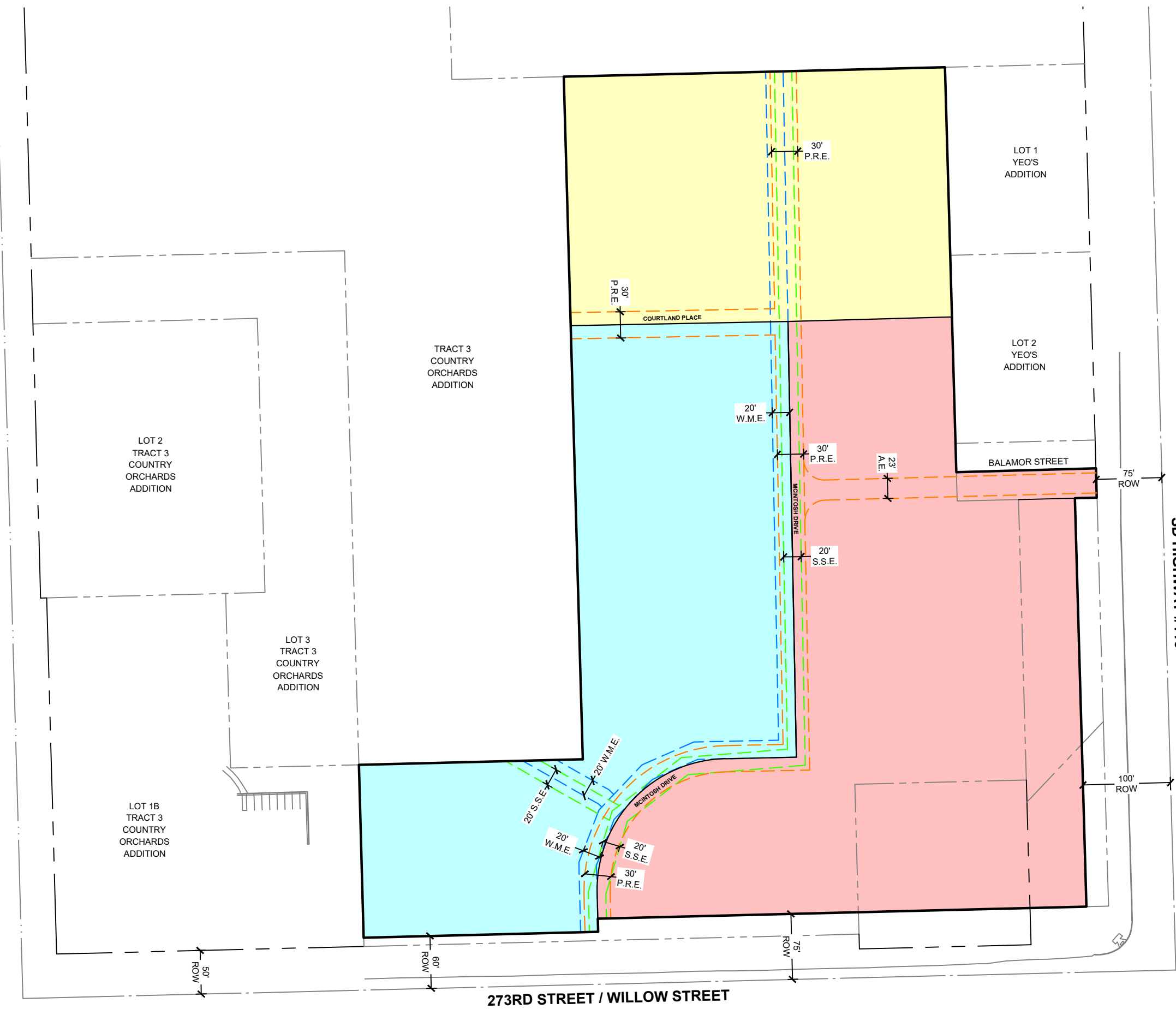
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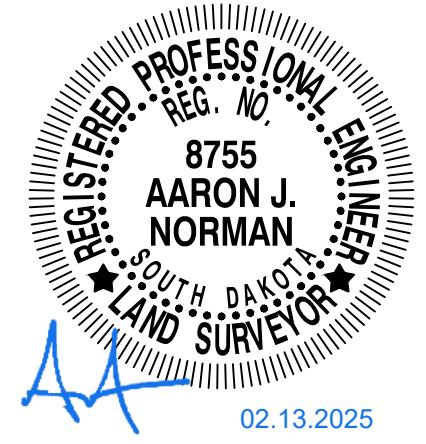
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- LEGEND:**
- PRIVATE ROAD EASEMENT (dashed orange line)
 - SANITARY SEWER EASEMENT (dashed green line)
 - WATER MAIN EASEMENT (dashed blue line)
 - PLATTED PROPERTY LINE (solid black line)
 - EXISTING PROPERTY LINE (dashed black line)
 - RIGHT OF WAY LINE (dashed grey line)
- ABBREVIATIONS:**
- A.E. ACCESS EASEMENT
 - S.S.E. SANITARY SEWER EASEMENT
 - W.M.E. WATER MAIN EASEMENT
 - ST.S.E./D.E. STORM SEWER/DRAINAGE EASEMENT
 - P.R.E. PRIVATE ROAD EASEMENT
 - ROW RIGHT OF WAY

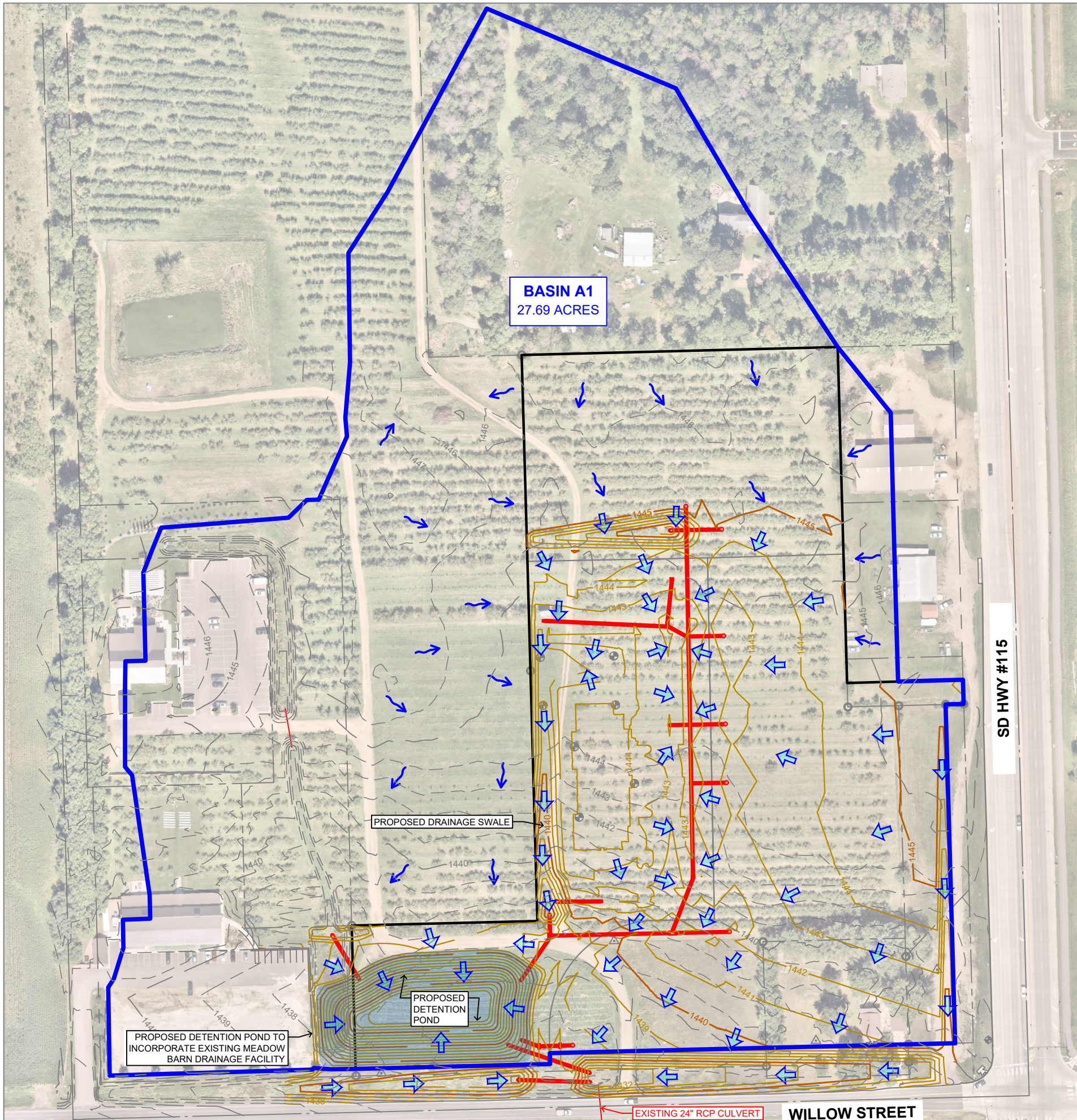


**Preliminary Development Plans
Orchard's Edge Addition
Harrisburg, SD**

| Easements | Revisions: |
|-----------|--------------------------|
| | NES Project #: 24.02.001 |
| | Plot Date: 2025.02.12 |
| | Designed by: A.J.N |
| | Drawn By: J.R.K |
| | Checked By: A.J.N |



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STORM SEWER LEGEND:

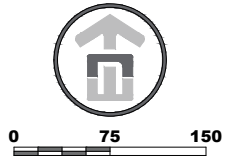
- STORM SEWER MAIN
- SF TYPE INLET
- B1 TYPE INLET
- SF TYPE JUNCTION BOX
- STORM BEND

GRADING LEGEND:

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED DRAINAGE BASIN
- PROPOSED DRAINAGE PATH
- EXISTING DRAINAGE PATH

NOTES:

1. EXISTING RUNOFF FROM THE SUBJECT DEVELOPMENT GENERALLY FLOWS FROM NORTH TO SOUTH THROUGH THE EXISTING ORCHARD DOWN TO AN EXISTING 24" RCP CULVERT UNDER WILLOW STREET. RUNOFF ULTIMATELY REACHES THE BIG SIOUX RIVER.
2. PROPOSED DRAINAGE WILL BE COLLECTED BY ON-SITE STORM SEWER AND ROUTED TO A PROPOSED DETENTION POND, WHERE DISCHARGE WILL BE CONTROLLED TO PREDEVELOPED RUNOFF RATES BEFORE IT REACHES THE EXISTING 24" CULVERT CROSSING UNDER WILLOW STREET.
3. SUBJECT DEVELOPMENT FALLS WITHIN FLOOD HAZARD ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FIRM MAP NUMBER 46083C0161C EFFECTIVE 04/02/2008.



SD HWY #115

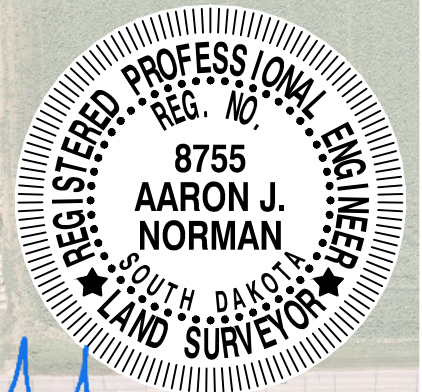
WILLOW STREET

PROPOSED DETENTION POND TO INCORPORATE EXISTING MEADOW BARN DRAINAGE FACILITY

PROPOSED DRAINAGE SWALE

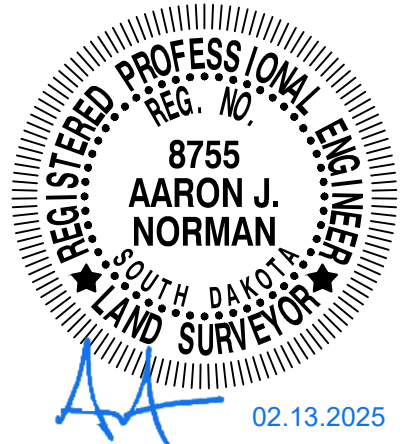
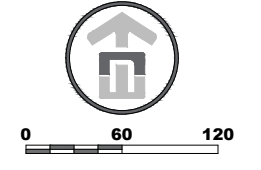
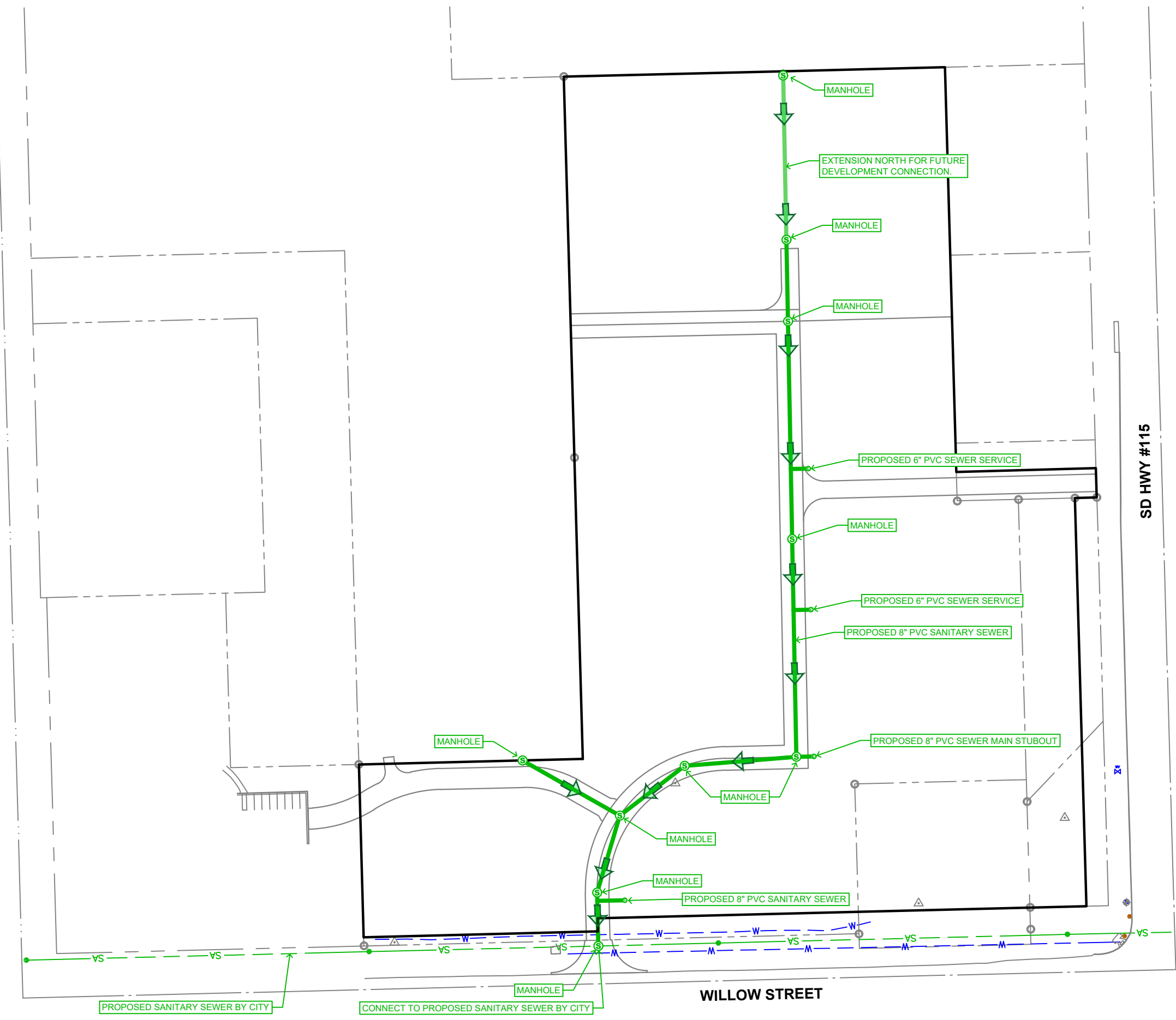
BASIN A1
27.69 ACRES

EXISTING 24" RCP CULVERT



02.13.2025

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**Preliminary Development Plans
Orchard's Edge Addition
Harrisburg, SD**

Sanitary Sewer Layout

Revisions:

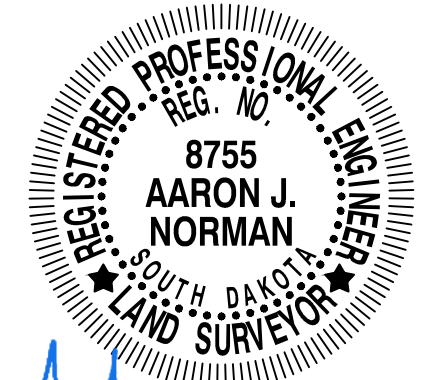
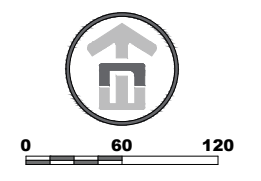
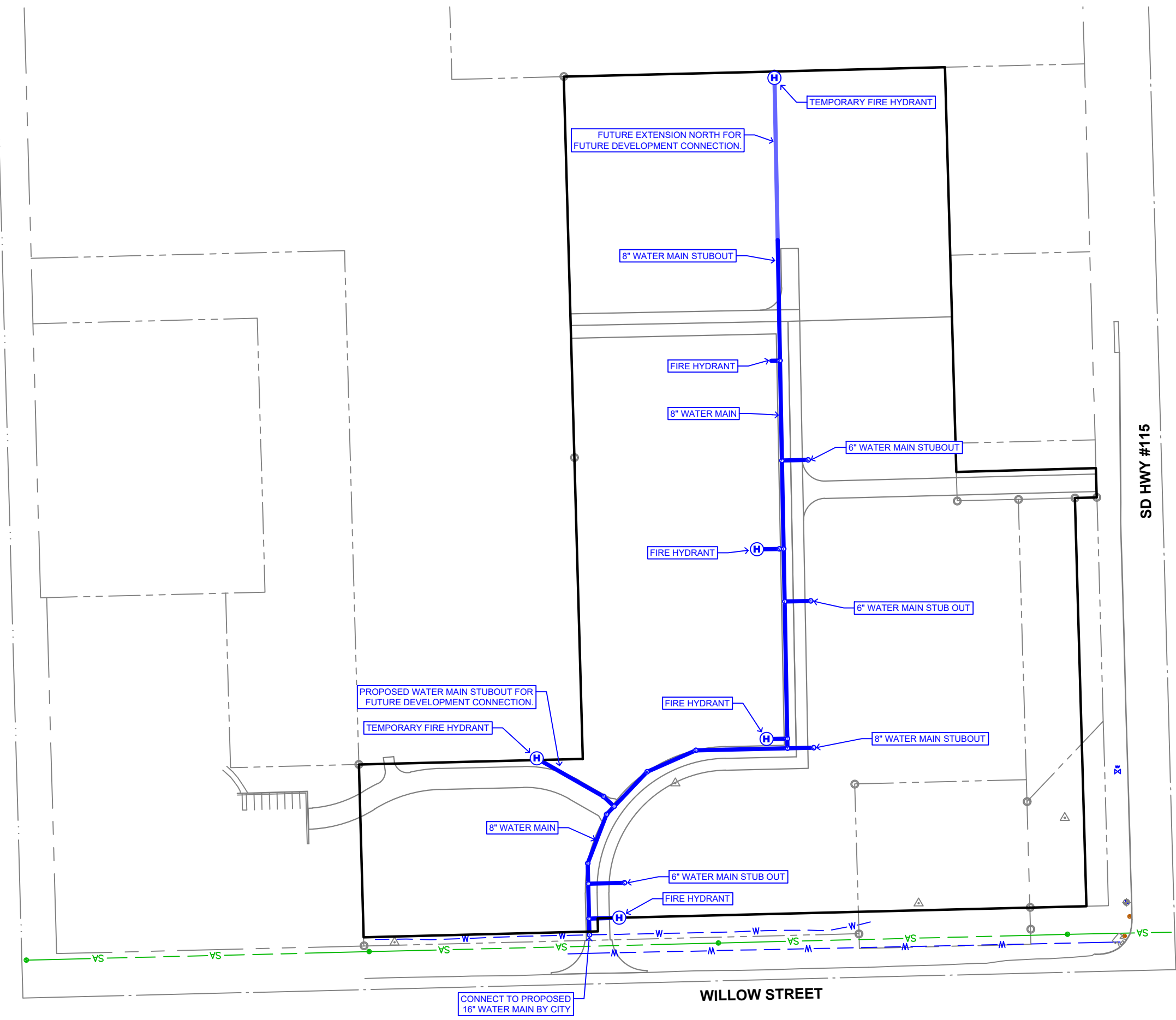
NES Project #: 24.02.001
Plot Date: 2025.02.12
Designed by: A.J.N.
Drawn By: J.R.K.
Checked By: A.J.N.



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02.13.2025

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AJ

02.13.2025

**Preliminary Development Plans
Orchard's Edge Addition
Harrisburg, SD**

Water Distribution Layout

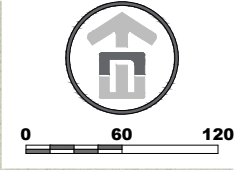
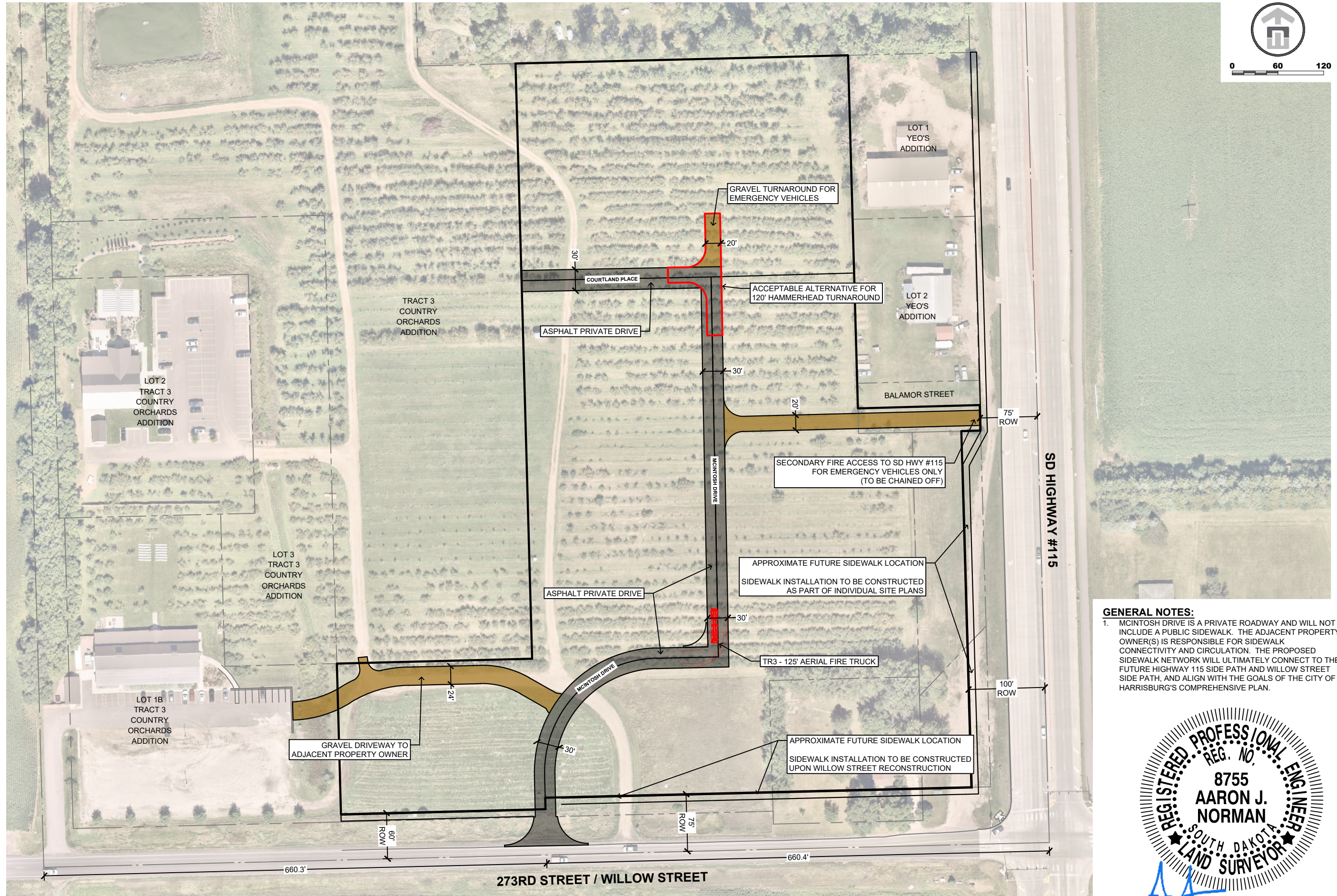
Revisions:

NES Project #: 24.02.001
Plot Date: 2025.02.12
Designed by: AJN
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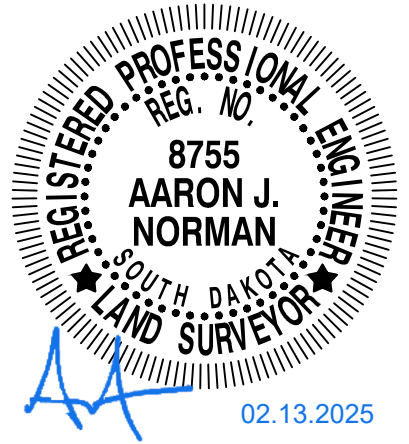
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GENERAL NOTES:

1. MCINTOSH DRIVE IS A PRIVATE ROADWAY AND WILL NOT INCLUDE A PUBLIC SIDEWALK. THE ADJACENT PROPERTY OWNER(S) IS RESPONSIBLE FOR SIDEWALK CONNECTIVITY AND CIRCULATION. THE PROPOSED SIDEWALK NETWORK WILL ULTIMATELY CONNECT TO THE FUTURE HIGHWAY 115 SIDE PATH AND WILLOW STREET SIDE PATH, AND ALIGN WITH THE GOALS OF THE CITY OF HARRISBURG'S COMPREHENSIVE PLAN.



**Preliminary Development Plans
Orchard's Edge Addition
Harrisburg, SD**

Access Layout

Revisions:

NES Project #: 24.02.001
Plot Date: 2025.02.12
Designed by: AJN
Drawn By: JRK
Checked By: AJN



SHEET
C8.0



APPLICATION TO KEEP CHICKENS

Applicant Lucas Lorenzen
Address 615 Emmett Tr
Phone # 507-227-3143
Email Address lucaslorenzen83@gmail.com
Property Owner (if different) _____
Zoning District in Which the Property is Located R-1 Single Family

A site plan of the property showing the location of the chicken coop and exercise yard, distances from property lines and any other pertinent site information must be attached to the application.


Rules Pertaining to the Keeping of Chickens:

- A. Chickens may only be kept within areas of the city zoned to permit single-family dwellings.
- B. No more than six hens shall be housed or kept on any one residential lot.
- C. Roosters and chicken breeding are prohibited. Cockerels must be culled from broods when identified.
- D. A coop and a reasonably satisfactory exercise yard is required to house chickens. Chicken facilities must be constructed and maintained to meet the following minimum standards:
 - 1) Located in the rear or side yard.
 - 2) The setback required for the coop and exercise yard is three feet from the rear and side property lines.
 - 3) Coop construction and materials must be adequate to prevent access by rodents.
 - 4) The coop and exercise yard must be maintained in good repair.
 - 5) Coop and exercise yard areas may not occupy more than 30% of the rear yard.
 - 6) Coop and exercise yard areas shall be enclosed with escape-proof fencing and/or netting.
 - 7) Chicken feces and waste shall be disposed of in a sanitary manner and be kept separate from other household waste or garbage.
 - 8) Manure storage shall be kept a minimum of 20 feet from streams, tributaries, ditches, storm water management facilities, drop inlets, or other storm drainage areas that would allow fecal matter to enter any city storm drainage system or stream. Dumping animal waste into the city storm drainage system is prohibited.
 - 9) Chickens must not be housed in a residential house or an attached or detached garage, except for brooding purposes only.

10) All premises on which chickens are kept or maintained shall be kept clean from filth, garbage, and any substances which attract rodents. The coop and its surrounding areas must be cleaned frequently enough to control odor.

- E. Chickens shall not be kept in such a manner as to constitute a nuisance to the occupants of adjacent properties.
- F. Dead chickens shall be disposed of within 48 hours after death. Legal forms of chicken carcass disposal include burial and off-site incineration or rendering.
- G. All grain and food stored for the use of the chickens shall be kept in rodent proof containers.
- H. Chickens shall be kept so that visibility is substantially obstructed at a height of five feet above ground level to the traveling public or surrounding property owners.

I have read and understand the rules pertaining to the keeping of chickens in the City of Harrisburg. I understand that a violation of these rules may result in the loss of this permit and therefore the permitted chickens must be removed from the permitted property.

Signature of Applicant  _____
Date 01/28/2025

Signature of Property Owner (if different) _____
Date _____



SITE PLAN



INTENDED CONSTRUCTION



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032
PHONE: 605-743-5872

Agenda Item Staff Report

Date: March 11, 2025
To: Planning Commission
From: Planning/Building Services

Agenda Item: Public Hearing 2 and Business Item 2

1. Review for approval an application to keep chickens at 615 Emmett Trail.
(Parcel ID: 270.16.07.024).
-

Information:

- The applicant is Lucas Lorenzen.
- Applicant is requesting is to keep chickens at 615 Emmett. The parcel is improved with a single-family home.
- The proposed location of the chicken coop and exercise run is located in the rear yard fully behind the home. The rear yard is enclosed by a 4' chain-link fence, leaving the neighbor to the South with a partial view of the proposed chicken coop.
- The application meets all other requirements of Section 5.12 of the Harrisburg Zoning Regulations.

Attachments:

Application, Site Plan, Sign Rendering

Staff Recommendation:

- Staff recommends approval with the following conditions:
 - 1) No more than six hens shall be housed or kept.
 - 2) Roosters and chicken breeding are prohibited. Cockerels must be culled from broods when identified.
 - 3) A coop and a reasonably satisfactory exercise yard is required to house chickens. Chicken facilities must be constructed and maintained to meet the following minimum standards:
 - a) Located in the rear or side yard.
 - b) The setback required for the coop and exercise yard is three feet from the rear and side property lines.




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- c) Coop construction and materials must be adequate to prevent access by rodents.
 - d) The coop and exercise yard must be maintained in good repair.
 - e) Coop and exercise yard areas may not occupy more than 30% of the rear yard.
 - f) Coop and exercise yard areas shall be enclosed with escape-proof fencing and/or netting.
 - g) Chicken feces and waste shall be disposed of in a sanitary manner and be kept separate from other household waste or garbage.
 - h) Manure storage shall be kept a minimum of 20 feet from streams, tributaries, ditches, storm water management facilities, drop inlets, or other storm drainage areas that would allow fecal matter to enter any city storm drainage system or stream. Dumping animal waste into the city storm drainage system is prohibited.
 - i) Chickens must not be housed in a residential house or an attached or detached garage, except for brooding purposes only.
 - j) All premises on which chickens are kept or maintained shall be kept clean from filth, garbage, and any substances which attract rodents. The coop and its surrounding areas must be cleaned frequently enough to control odor.
- 4) Chickens shall not be kept in such a manner as to constitute a nuisance to the occupants of adjacent properties.
 - 5) Dead chickens shall be disposed of within 48 hours after death. Legal forms of chicken carcass disposal include burial and off-site incineration or rendering.
 - 6) All grain and food stored for the use of the chickens shall be kept in rodent proof containers.

City of Harrisburg
Building Permits Issued February 2025

| | | | | | | | |
|-----------|-----------|-------------------------------------|--------------------------------------------|------------------------------------|------------|-----------------------|------------|
| 2/3/2025 | 2025-0021 | Seller Home Trust | Lower-Level Finish | Thurman Construction | 60,000.00 | 229 Plainside Avenue | Harrisburg |
| 2/3/2025 | 2025-0023 | Quien Rentals, LLC | Non-Residential Alteration | Quien, Mitch | 1,600.00 | 106 W. Willow Street | Harrisburg |
| 2/4/2025 | 2025-0003 | Capstone Homes South Dakota | New Single-Family Home | Capstone Homes South Dakota | 283,000.00 | 711 Estate Street | Harrisburg |
| 2/13/2025 | 2024-0527 | Dynamic Development, LLC | Non-Residential New Structure (Tire Store) | Fiechtner Construction | 600,000.00 | 912 N. Cliff Avenue | Harrisburg |
| 2/13/2025 | 2025-0025 | Kellar, Sheldon | Lower-Level Finish | Kellar, Sheldon | 45,000.00 | 414 Dale Avenue | Harrisburg |
| 2/18/2025 | 2025-0027 | GH Properties, LLC | Lower-Level Finish | GH Properties, LLC | 45,000.00 | 841 Melissa Avenue | Harrisburg |
| 2/25/2025 | 2025-0026 | DeRocher Brothers Construction, LLC | Lower-Level Finish | DeRocher Brothers Construction, LI | 32,300.00 | 719 Estate Street | Harrisburg |
| 2/25/2025 | 2025-0032 | Nelson, Tyler | Residential Remodel (Garage Repairs) | Elite Contracting | 12,000.00 | 601 Almond Avenue | Harrisburg |
| 2/26/2025 | 2024-0507 | Rocamora, Julio | Residential Remodel (Fire Restoration) | Intek | 14,000.00 | 103 E. Willow Street | Harrisburg |
| 2/26/2025 | 2025-0031 | Anderson, Bauer | Lower-Level Finish | Anderson, Bauer | 5,000.00 | 607 Honeysuckle Drive | Harrisburg |
| 2/26/2025 | 2025-0037 | Knock Homes, LLC | Lower-Level Finish | Knock Homes, LLC | 50,606.00 | 620 Highland Street | Harrisburg |
| 2/28/2025 | 2025-0042 | Arp, Sarah | Remodel | Garnik Building Solutions LLC | 5,200.00 | 902 Ash Grove Street | Harrisburg |

City of Harrisburg
Month-by-Month Comparison

| | January | | | February | | | March | | | April | | | May | | | | | |
|----------------------------|------------|------------|-----------|------------|------------|-----------|-------------------------------------------------------------------------------------|------------|-----------|------------|------------|-----------|------------|------------|-----------|---------------------|------|------|
| | 2023 | 2024 | 2025 | 2023 | 2024 | 2025 | 2023 | 2024 | 2025 | 2023 | 2024 | 2025 | 2023 | 2024 | 2025 | | | |
| New Homes | 1 | 0 | 1 | 1 | 10 | 1 | 2 | 6 | | 16 | 10 | | 9 | 4 | | | | |
| Lower-Level Finish | 4 | 5 | 9 | 8 | 5 | 6 | 6 | 3 | | 2 | 6 | | 3 | 7 | | | | |
| Fence | 0 | 0 | 2 | 0 | 2 | 0 | 0 | 9 | | 12 | 16 | | 19 | 30 | | | | |
| Non-Residential (Comm/Ind) | 3 | 1 | 2 | 0 | 2 | 2 | 2 | 3 | | 0 | 6 | | 2 | 4 | | | | |
| Other | 0 | 2 | 3 | 5 | 3 | 3 | 16 | 12 | | 52 | 19 | | 71 | 23 | | | | |
| Total Permits | 8 | 8 | 17 | 14 | 22 | 12 | 26 | 33 | 0 | 82 | 57 | 0 | 104 | 68 | 0 | | | |
| Running Total | 8 | 8 | 17 | 22 | 30 | 29 | 48 | 63 | 29 | 130 | 120 | 29 | 234 | 188 | 29 | | | |
| | June | | | July | | | August | | | September | | | October | | | | | |
| | 2023 | 2024 | 2025 | 2023 | 2024 | 2025 | 2023 | 2024 | 2025 | 2023 | 2024 | 2025 | 2023 | 2024 | 2025 | | | |
| New Homes | 11 | 9 | | 9 | 6 | | 4 | 2 | | 9 | 11 | | 15 | 5 | | | | |
| Lower-Level Finish | 2 | 2 | | 2 | 3 | | 5 | 2 | | 2 | 5 | | 1 | 5 | | | | |
| Fence | 11 | 14 | | 11 | 10 | | 12 | 11 | | 5 | 14 | | 7 | 6 | | | | |
| Non-Residential (Comm/Ind) | 0 | 5 | | 0 | 7 | | 2 | 8 | | 1 | 4 | | 3 | 5 | | | | |
| Other | 33 | 16 | | 35 | 16 | | 30 | 25 | | 13 | 20 | | 14 | 14 | | | | |
| Total Permits | 57 | 46 | 0 | 57 | 42 | 0 | 53 | 48 | 0 | 30 | 54 | 0 | 40 | 35 | 0 | | | |
| Running Total | 291 | 234 | 29 | 348 | 276 | 29 | 401 | 324 | 29 | 431 | 378 | 29 | 471 | 413 | 29 | | | |
| | November | | | December | | |  | | | | | | | | | Permitted New Homes | | |
| | 2023 | 2024 | 2025 | 2023 | 2024 | 2025 | | | | | | | | | | 2023 | 2024 | 2025 |
| New Homes | 5 | 5 | | 1 | 0 | | January | 1 | 0 | 1 | | | | | | | | |
| Lower-Level Finish | 6 | 1 | | 6 | 2 | | February | 1 | 10 | 1 | | | | | | | | |
| Fence | 7 | 7 | | 2 | 2 | | March | 2 | 6 | | | | | | | | | |
| Non-Residential (Comm/Ind) | 3 | 4 | | 0 | 3 | | April | 16 | 10 | | | | | | | | | |
| Other Permits | 15 | 8 | | 5 | 6 | | May | 9 | 4 | | | | | | | | | |
| Total Permits | 36 | 25 | 0 | 14 | 13 | 0 | June | 11 | 9 | | | | | | | | | |
| Running Total | 507 | 438 | 29 | 521 | 451 | 29 | July | 9 | 6 | | | | | | | | | |
| | | | | | | | August | 4 | 2 | | | | | | | | | |
| | | | | | | | September | 9 | 11 | | | | | | | | | |
| | | | | | | | October | 15 | 5 | | | | | | | | | |
| | | | | | | | November | 5 | 5 | | | | | | | | | |
| | | | | | | | December | 1 | 0 | | | | | | | | | |
| | | | | | | | TOTAL | 83 | 68 | 2 | | | | | | | | |

City of Harrisburg
2025 Building Permits Issued

| Date | Permit # | Property Owner | Description of Project | Contractor | Total Valuation | Property Address | City |
|-----------|-----------|------------------------------------|---------------------------------------------|--------------------------------------------------------|-----------------|-----------------------|------------|
| 1/2/2025 | 2025-0002 | Doss, Gregory & Miranda | Mechanical | Chiu, Eric | 1,800.00 | 620 St. Jerome Street | Harrisburg |
| 1/2/2025 | 2024-0537 | Colwell, Mary | Fence | Nespor Fence | 6,389.00 | 511 Hillside Street | Harrisburg |
| 1/6/2025 | 2025-0001 | Wellman, Garrett & Ashley | Mechanical | Wellman, Garrett | 1,000.00 | 605 Hillside Street | Harrisburg |
| 1/6/2025 | 2025-0004 | Hofer, Cody | Lower-Level Finish | Hofer, Cody | 2,500.00 | 500 Miah Street | Harrisburg |
| 1/6/2025 | 2025-0005 | Thompson, James | Lower-Level Finish | Genuine Builders, Inc. | 40,000.00 | 118 Atlantic Circle | Harrisburg |
| 1/8/2025 | 2025-0006 | Dammann, Kirk & Connie | Lower-Level Finish | First Contracting LLC- DBA Sioux Falls Home Remodeling | 36,500.00 | 707 Prairieside Trail | Harrisburg |
| 1/9/2025 | 2025-0008 | Vargas, Carlos | Fence | TBD | 5,000.00 | 611 Hillside Street | Harrisburg |
| 1/9/2025 | 2024-0533 | Harrisburg SBX | Non-Residential Interior Finish (Starbucks) | TBD | 800,000.00 | 490 W. Willow Street | Harrisburg |
| 1/10/2025 | 2025-0009 | Lockwood, Jody | Mechanical | Lockwood, Jody | 600.00 | 404 Quinn Avenue | Harrisburg |
| 1/14/2025 | 2024-0530 | Capstone Homes South Dakota | New Single-Family Home | Capstone Homes | 273,000.00 | 510 Hillside Street | Harrisburg |
| 1/17/2025 | 2025-0011 | GH Properties, LLC | Lower-Level Finish | GH Properties, LLC | 60,000.00 | 823 Melissa Avenue | Harrisburg |
| 1/21/2025 | 2025-0007 | Cason, Mitchell & Alexis | Lower-Level Finish | Cason, Mitchell | 20,000.00 | 105 Atlantic Circle | Harrisburg |
| 1/22/2025 | 2025-0014 | Meyer, Bradley & Kyera | Lower-Level Finish (Partial) | Home Solutions | 36,000.00 | 626 Creekside Trail | Harrisburg |
| 1/23/2025 | 2025-0016 | Ferguson, Graham | Lower-Level Finish | Ferguson, Graham | 25,000.00 | 425 Huckleberry Trail | Harrisburg |
| 1/27/2025 | 2025-0017 | Leif, Thomas & Kimberly | Lower-Level Finish (Partial) | Leif, Thomas & Kimberly | 15,000.00 | 502 Andrew Avenue | Harrisburg |
| 1/30/2025 | 2025-0013 | Harrisburg School District | Non-Residential Additon/Remodel | Wynia, Derek | 17,000.00 | 1300 E. Willow Street | Harrisburg |
| 1/30/2025 | 2025-0020 | Julius, Jaden | Lower-Level Finish | Julius, Jaden | 10,000.00 | 503 Brannon Drive | Harrisburg |
| 2/3/2025 | 2025-0021 | Seller Home Trust | Lower-Level Finish | Thurman Construction | 60,000.00 | 229 Plainside Avenue | Harrisburg |
| 2/3/2025 | 2025-0023 | Quien Rentals, LLC | Non-Residential Alteration | Quien, Mitch | 1,600.00 | 106 W. Willow Street | Harrisburg |
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