

City of Harrisburg Planning Commission
Agenda for September 9, 2025, Meeting at 6:00 P.M.
Showplace Training Center
418 N. Cliff Avenue, Harrisburg, SD 57032

1. Call to Order

2. Roll Call

3. Public Comment on Non-Agenda Items

4. Approval of Agenda

5. Approval of Minutes

- a. Approval of minutes from August 12, 2025, Planning Commission meeting.

6. Regular Agenda

- a. APPLICATION: Review and recommendation to City Council an application to rezone the following properties legally described as: Lots 5, 9, 13, 14, and 16 of Block 2; Lots 4, 5, 8, 9, 10, and 12 of Block 3; Lots 1, 2, 6, 7, 8, 9, 10, and 11 of Block 4; Lots 1A, 3, 4, 5, 6, 7, and 8 of Block 5, Lots 1, 2, 3, 5, and 6 of Block 6, and Lot 1 of Block 7 all of Sunny Haven Estates from R-2 Low-Density Residential to R-1 Single-Family Detached Residential.

Applicant: Sunny Haven Residents

Location: Parcel # 271.14.02.005, 271.14.04.006, 271.14.05.004, 271.14.04.002, 271.14.04.009, 271.14.05.007, 271.14.03.008, 271.14.07.001, 271.14.04.007, 271.14.06.005, 271.14.04.001, 271.14.03.009, 271.14.05.005, 271.14.02.016, 271.14.04.008, 271.14.05.001A, 271.14.02.014, 271.14.06.001, 271.14.03.010, 271.14.06.003, 271.14.04.010, 271.14.03.005, 271.14.05.006, 271.14.03.004, 271.14.02.013, 271.14.06.002, 271.14.03.012, 271.14.05.008, 271.14.02.009, 271.14.06.006, 271.14.04.011, and 271.14.05.003.

- 1. Public hearing
- 2. Commission Action

- b. APPLICATION: Review and recommendation to City Council an application to rezone a portion (5.78 acres) of the property legally described as Tract 2 of Paul Alan Addition from R-1 Single-Family Detached Residential to R-2 Low-Density Residential.

Applicant: Norman Engineering & Surveying

Location: Parcel # 271.26.00.200.

- 1. Public hearing
- 2. Commission Action

7. New Business

- a. APPLICATION: Review and recommendation to City Council a plat application for Tract 4A of Dakota Farms Addition.

Applicant: Dakota Farms, LLP

Location: Parcel # 099.49.18.D400

- 1. Commission Action

- b. APPLICATION: Review and recommendation to City Council a plat application for Tract 1 of Merkle

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Addition.

Applicant: Pente Farms, LLC

Location: Parcel # 099.50.09.2000

1. Commission Action

- c. APPLICATION: Review and recommendation to City Council an application for annexation for the property legally described as N1/2 NW1/4 Section 34, T100N, R50W, 5th P.M., Lincoln County, South Dakota.

Applicant: Allen Development, LLC

Location: Parcel # 100.49.74.2000.

1. Commission Action

- d. APPLICATION: Review and recommendation to City Council the Lone Tree Preliminary Plan for the property legally described as N1/2 NW1/4 Section 34, T100N, R50W, 5th P.M., Lincoln County, South Dakota.

Applicant: Allen Development, LLC

Location: Parcel # 100.49.74.2000.

1. Commission Action

8. Old Business

9. Administrative Reports and Commission Input

- a. Commission input.
- b. Building permit reports for August 2025.
- c. Plats filed in August 2025

10. Adjournment

City of Harrisburg Planning Commission
Draft Meeting Minutes for August 12, 2025, Meeting at 6:00 P.M.
Showplace Training Center
418 N. Cliff Avenue, Harrisburg, SD 57032

1. Call to Order

The regular meeting of the City of Harrisburg Planning Commission was called to order by Chairperson Bicknase at 6:00 p.m. on August 12, 2025.

2. Roll Call

Commissioners Rob Doyen, Matthew Irish, Collin McKenzie, Jason Schipper, Jon Kraft, and Chairperson Bruce Bicknase were present. Chad Huwe and Jen Cleveland were present on behalf of City Planning & Zoning; City Council Liaison Chris Kindt was also present. The public present was Josh Nielson.

3. Public Comment on Non-Agenda Items

No public comment on non-agenda items was heard.

4. Approval of Agenda

Chairperson Bicknase asked if there were any changes to the meeting agenda. No changes were presented. A motion was made by Commissioner Schipper, seconded by Commissioner Doyen, to approve the agenda. A voice vote was taken. Yeas: Doyen, Irish, McKenzie, Schipper, Kraft, Bicknase. Nays: None. Motion carried 6-0.

5. Approval of Minutes

- a. Approval of minutes from the July 8, 2025, Planning Commission meeting.

Chairperson Bicknase asked if there were any changes to the draft meeting minutes for July 8, 2025. No corrections were presented. A motion was made by Commissioner Kraft, seconded by Commissioner Schipper, to approve the meeting minutes. A voice vote was taken. Yeas: Doyen, Irish, McKenzie, Schipper, Kraft, Bicknase. Nays: None. Motion carried 6-0.

6. Regular Agenda

- a. APPLICATION: Review for approval of a Conditional Use Permit application to allow an additional mini-warehouse structure on the following property, legally described as: Lot 13 & S 62.77' of Lot 14 Block 1, of Homesites Addition.

Applicant: Just Right Storage (Josh Nielson)

Location: 604 S. Augustana Avenue, Parcel # 270.58.01.013A

1. Public hearing
2. Commission Action

Jen Cleveland presented a summary of the application and staff report. Josh Nielson was present on behalf of Just Right Storage to speak and answer questions from the Planning Commission. The floor was opened for public comment. Hearing none, Chairperson Bicknase closed the public hearing.

A motion was made by Commissioner Schipper, seconded by Commissioner Nielsen, to approve the Conditional Use Permit application for an additional third mini-warehouse structure, approximately 60' x 165' (an additional 9900 square feet), with the following conditions:

1. On-site lighting shall not shine or glare into the adjacent properties or public right-of-way.
2. Residential, retail and commercial uses are prohibited. Units shall not be used for dwelling units or purposes.

City of Harrisburg Planning Commission
Draft Meeting Minutes for August 12, 2025, Meeting at 6:00 P.M.
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3. All junk, debris, and other discarded materials shall be promptly removed from the site.
4. The site shall be screened from view along Augustana Avenue with opaque security fencing or landscaping at a minimum of six feet in height.

A voice vote was taken. Yeas: Doyen, Irish, McKenzie, Schipper, Kraft, Bicknase. Nays: None.
Motion carried 6-0.

7. New Business

No new business was discussed.

8. Old Business

No old business was discussed.

9. Administrative Reports and Commission Input

- a. Commission input.
Commissioner Kraft inquired about what new restaurant was permitted in July.
- b. Building permit reports for July 2025.
Jen Cleveland provided a summary of the June building permit reports. Commissioner Kraft inquired how our building permit valuation data this year compares to last year.
- c. Plats filed in July 2025
 - Lot 4 in Tract 3 of Country Corner Orchards' Addition
 - Lot 2, Block 11 of Creekside Addition
 - Tract 5 of McNeil Addition

10. Adjournment

A motion to adjourn was made at 6:13 p.m. by Commissioner Schipper, seconded by Commissioner Doyen. A voice vote was taken. Yeas: Doyen, Irish, McKenzie, Schipper, Kraft, Bicknase. Nays: None. Motion carried 6-0.

Respectfully Submitted,
Jen Cleveland
City of Harrisburg Planning & Zoning



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032
PHONE: 605-743-5872

Agenda Item Staff Report

Date: September 9, 2025
To: Planning Commission
From: Planning and Zoning Staff

Agenda Item

An ordinance to rezone the remaining 33 lots in the Sunny Haven Estates Addition from R-2 Low Density Residential to R-1 Single-Family Residential.

Public Hearing: ☒

Business Item: ☒

Consent Item: ☐

Information

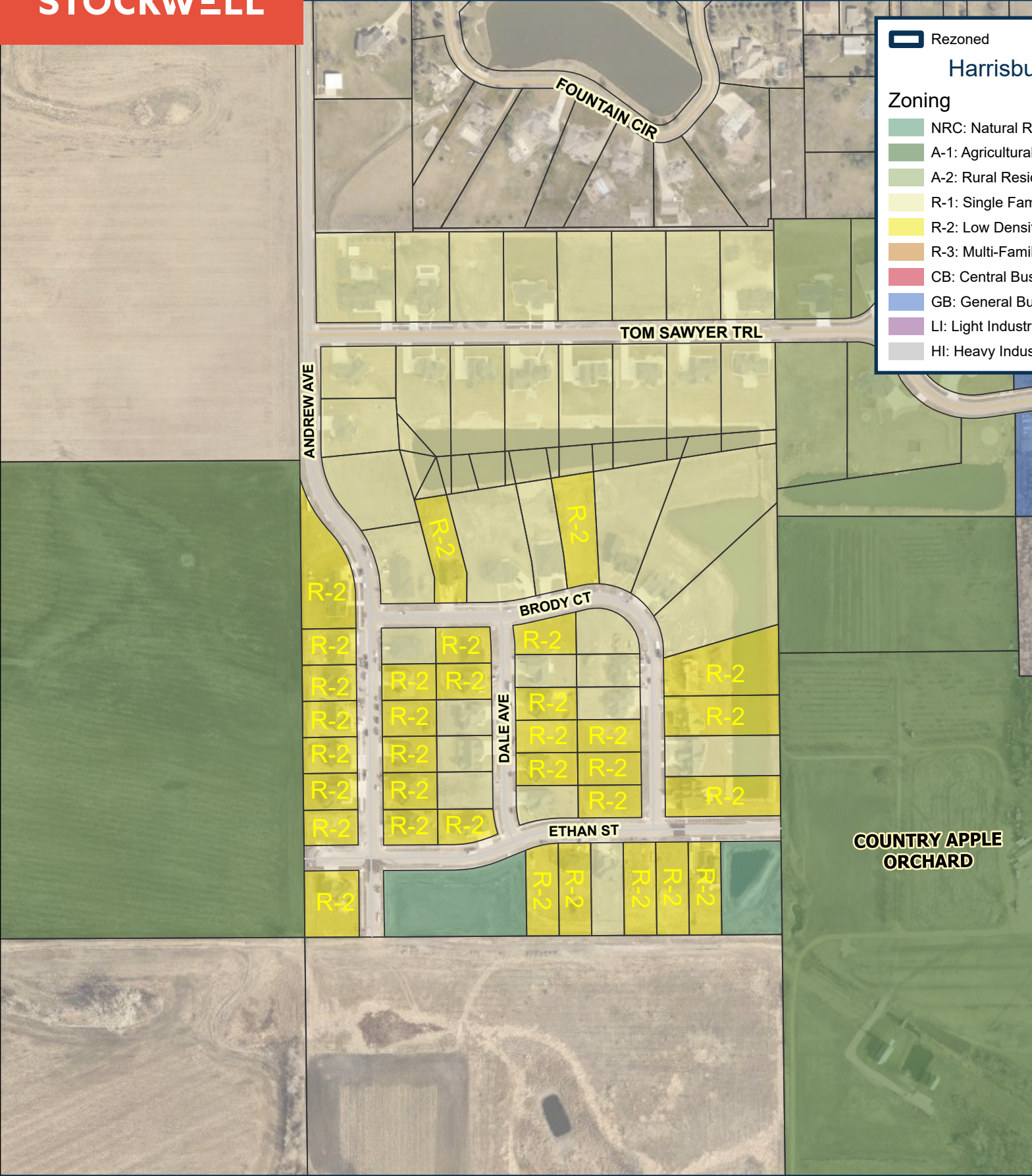
- These lots were originally zoned R-2 Low-Density Residential by the developer.
- 29 of the 33 lots are improved with a single-family detached residence. The remaining lots are vacant lots.
- The City's annual street maintenance and stormwater drainage fees are calculated based on zoning.
- Rezoning these lots will reduce the property owners' annual fees.

Attachments

Zoning Exhibit

Staff Recommendation

Recommend Approval of the rezone request to City Council.



Existing Zoning

SUNNY HAVEN DEVELOPMENT



Proposed Zoning

SUNNY HAVEN DEVELOPMENT



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PHONE: 605-743-5872

Agenda Item Staff Report

Date: September 9, 2025
To: Planning Commission
From: Planning and Zoning Staff

Agenda Item

An ordinance to rezone a portion (5.78 acres) of the property legally described as Tract 2 of Paul Alan Addition from R-1 Single-Family Detached Residential to R-2 Low-Density Residential.

Public Hearing: ☒

Business Item: ☒

Consent Item: ☐

Information

- This property is currently zoned R-1 Single-Family Residential.
- The applicant is requesting to rezone 5.78 acres to R-2 Low Density Residential to be platted into 24 lots.

Attachments

Zoning Exhibit

Staff Recommendation

Recommend Approval of the rezone request to City Council.

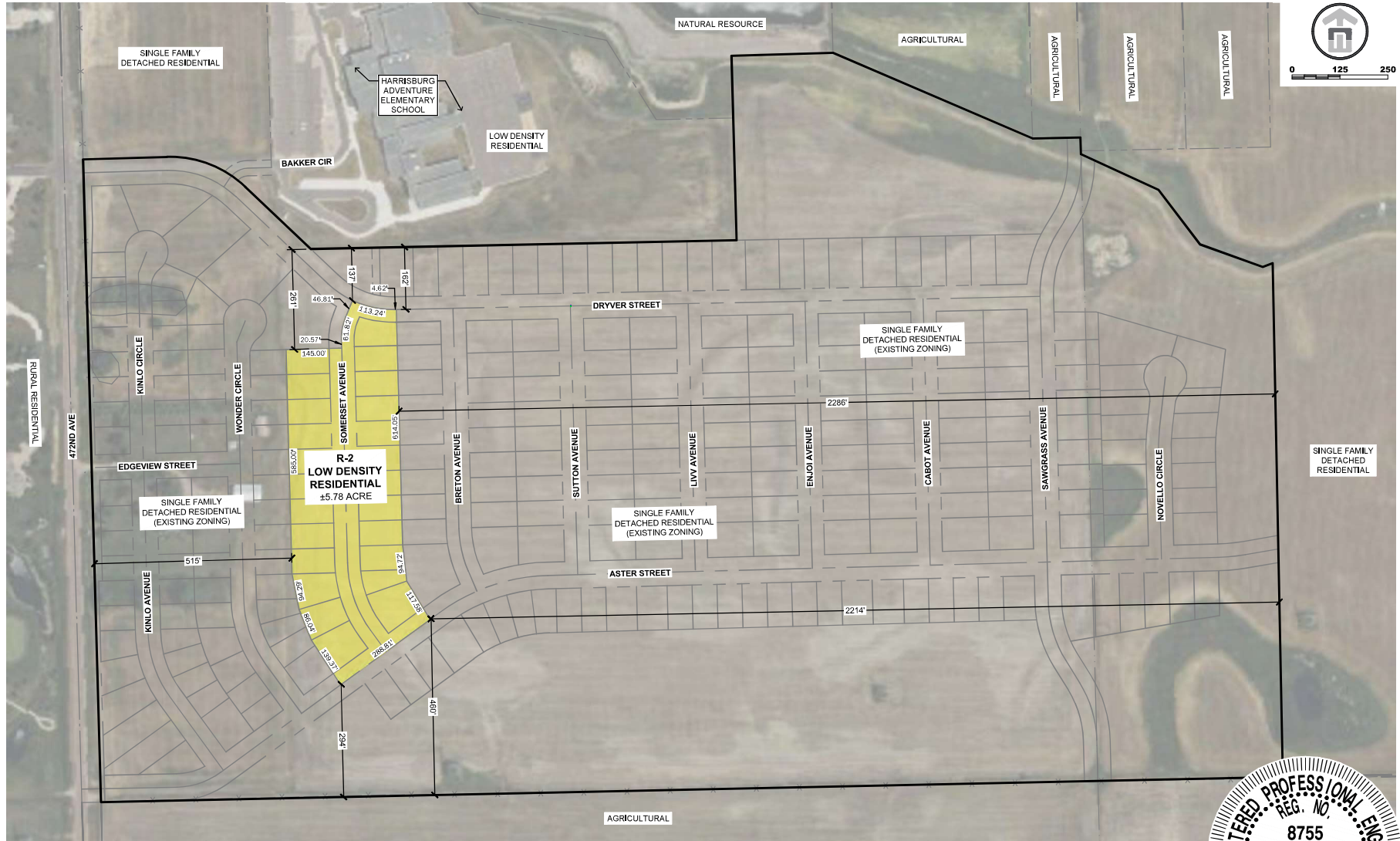


TABLE OF MINIMUM SETBACK REQUIREMENTS

ZONING	FRONT	SIDE	REAR
R-1 - SINGLE FAMILY DETACHED	25 FT	7 FT	20 FT
R-2 - LOW DENSITY RESIDENTIAL	25 FT	7 FT	20 FT

ZONING NOTES:

1. EXISTING ZONING IS SINGLE FAMILY DETACHED RESIDENTIAL.
2. ADJACENT PROPERTY ZONING SHOWN IS BASED ON CITY OF HARRISBURG AND LINCOLN COUNTY GIS DATA.



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Agenda Item Staff Report

Date: September 9, 2025
To: Planning Commission
From: Planning and Building Services

Agenda Item:

Plat of Tract 4A of Dakota Farms Addition and Pre-Annexation Agreement.

Public Hearing: ☐

Business Item: ☒

Informational: ☐

Information:

- The applicant is Dakota Farms, LLP.
- The property is on the southeast corner of the intersection of 275th Street and 476th Avenue.
- This land is outside of Harrisburg city limits but is in Harrisburg's platting subdivision authority.
- This plat replats Tract 4 and vacates the Northeast corner of the property, which has been identified as having 1% Risk Base Level Elevations by FEMA.
- The vacated portion of Tract 4 would revert back to Government Lot 1, NW1/4, Section 18, T99N, R49W.
- The pre-annexation agreement outlines the process of voluntary annexation in the future.
- This land is identified for future industrial use in the City's comprehensive plan.

Attachments:

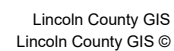
Plat Submittal

Pre-Annexation Agreement

Staff Recommendation:

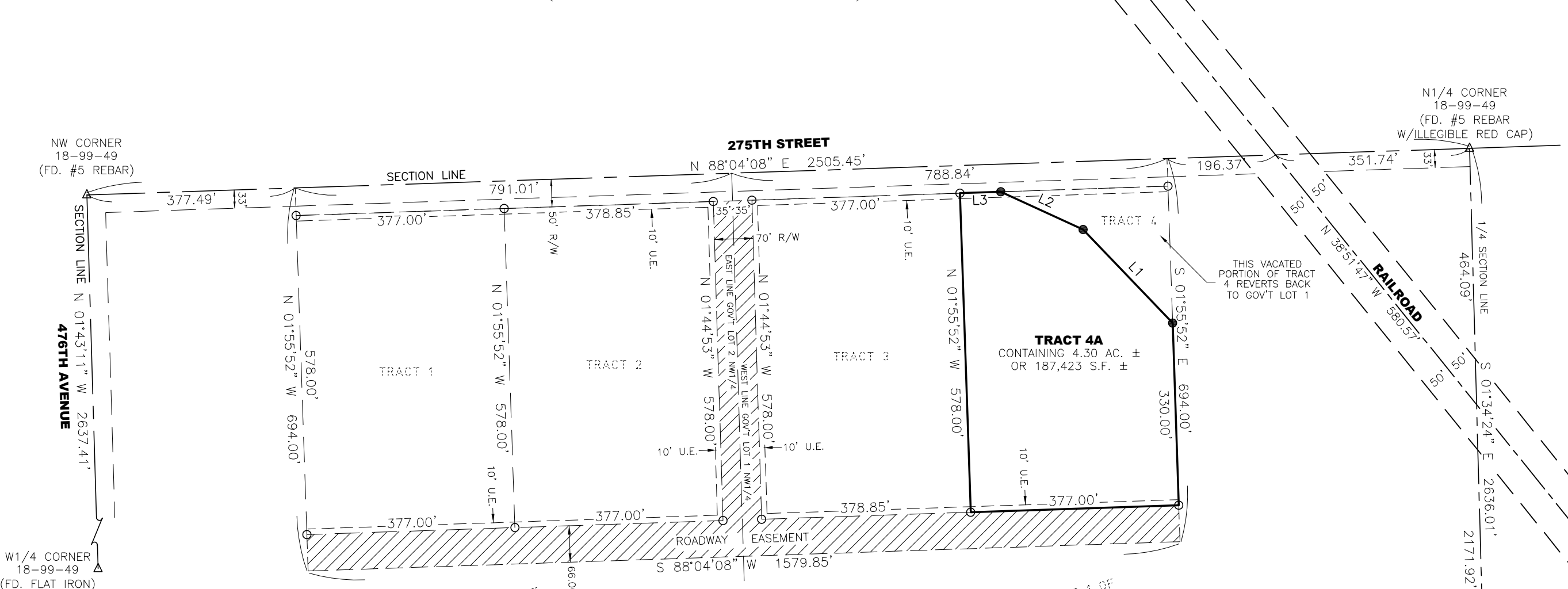
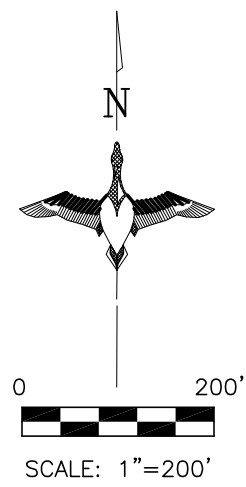
Staff recommends approval.

NA



PLAT OF TRACT 4A OF DAKOTA FARMS ADDITION

IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 99 NORTH, RANGE 49 WEST OF THE 5TH PRINCIPAL MERIDIAN, LINCOLN COUNTY, SOUTH DAKOTA.
(TRANSFER OF OWNERSHIP PLAT)

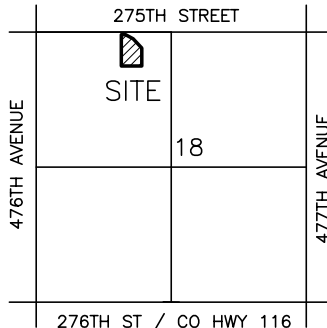


LEGEND:

- SET 5/8" REBAR W/CAP #10141
- FD. MONUMENT
- △ SECTION CORNER (AS NOTED)
- (M) MEASURED DISTANCE
- (R) RECORD INFORMATION
- AC. ACRES
- S.F. SQUARE FEET
- U.E. UTILITY EASEMENT
- R/W RIGHT-OF-WAY
- N.T.S. NOT TO SCALE
- — — PREVIOUSLY PLATTED LINE
- - - - - RIGHT OF WAY LINE

NOTES:
BASIS OF BEARINGS IS UTM-ZONE 14
THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.

EASEMENTS OF RECORD WERE NOT RESEARCHED AND ARE NOT SHOWN ON THE PLAT.



AREA TABLE	
STREETS	0.00 AC.±
LOTS	4.30 AC.±
TOTAL	4.30 AC.±

LINE	BEARING	DISTANCE
L1	N 43°44'44" W	234.41'
L2	S 65°23'12" E	164.00'
L3	N 88°04'08" E	74.00'



211 E. 14th street, Sioux Falls, SD 57104 | Phone: (605) 339-8901



PREPARED BY:
City of Harrisburg
301 E Willow Street
Harrisburg, SD 57032
605.743.5872

PRE-ANNEXATION AGREEMENT

This Pre-Annexation Agreement (the "Agreement") is made and entered into by and between the City of Harrisburg (the "City") and the undersigned property owners (the "Owner"). The purpose of this Agreement is to set forth the terms and conditions for the voluntary annexation of the Subdivision (defined below) by the City of Harrisburg.

The City and the Owners understand that the City's growth will eventually result in the City's municipal boundary becoming adjacent to the boundary of the Subdivision and that the annexation of the Subdivision will then be possible.

For and in consideration of the annexation of the property described below and the mutual promises set forth herein, the parties agree as follows:

1. Pursuant to SDCL 9-4-1.1, the owners of the property within the Subdivision will submit a Petition for Voluntary Annexation (the "Petition") within sixty days of receipt of a request by the City for the annexation of the real property described as follows

4.30 Acres illustrated in the attached preliminary plat as Tract 4A of Dakota Farms Addition in the Northwest Quarter of Section 18, Township 99 North, Range 49 West of the 5th Principal Meridian, Lincoln County, South Dakota.

(the "Subdivision")
2. The Owners agree that when they submit a Petition for Voluntary Annexation to the City that all of the real property within the Subdivision will be included in and subject to the Petition.
3. Owners agree to connect to City water and sanitary sewer mains within one year of installation of City water and sanitary sewer mains at the Owners' sole expense.
4. Once annexed, the owner agrees not to submit a petition to De-Annex.
5. Owners agree to comply with all existing zoning, building, and property maintenance codes.
6. The City and Owners agree to defer payment and collection of arterial street platting fees and open space contributions until the property is annexed, at which time payment will become due.

This Agreement shall be binding upon, and inure to the benefit of, the Owners and their respective heirs, successors, or assigns, and shall run with the land. This Agreement shall be recorded in the Lincoln County Register of Deeds Office to give notice to the public and all interested parties of the obligations herein.

Nothing in the Agreement shall be construed as requiring the City, at its sole expense, to construct or install any sanitary sewer lines, water distribution lines, or other improvements of any kind upon the Subdivision or extend such public improvements to service the Subdivision.

This Agreement embodies all agreements and representations of the Owners. There are no promises, terms, conditions, or allegations other than those contained herein; and this Agreement supersedes all previous communications, representations, and agreements, whether written or verbal, between the Owners. This Agreement may be modified only in writing and executed by all parties to this Agreement including any new owners of real estate within the Subdivision.

This Agreement may be executed in one or more counterparts, each of which when executed and delivered, shall be an original, but all such counterparts shall constitute one and the same instrument.

Dated this _____ Day of _____, 20_____.

(Signatures begin on next page)

OWNER

Dakota Farms, LLP

Its:

STATE of SOUTH DAKOTA)
)SS
COUNTY OF LINCOLN)

On this the _____ day of _____, 20____, before me, the undersigned officer, personally appeared _____, who acknowledged themselves to be the _____ of Dakota Farms, LLP, a South Dakota limited liability partnership, and that they, as such _____ being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the LLP by themselves as _____.

In witness whereof, I have hereunto set my hand and official seal

(SEAL)

Notary Public, South Dakota
My commission expires _____

CITY OF HARRISBURG

Derick Wenck, Mayor

Attest:

Deb Harris, Finance Officer

STATE of SOUTH DAKOTA)
)SS
COUNTY OF LINCOLN)

I, the undersigned, a notary public in and for the county and state aforesaid, do hereby certify that Derick Wenck, personally known to me to be the Mayor of the City of Harrisburg, a municipal corporation, and Deb Harris, personally known to me to be the City Finance Officer of said corporation and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such Mayor and City Finance Officer, they signed and delivered the said instrument as Mayor and City Finance Officer of said municipality and caused the corporate seal of said municipality to be affixed thereto pursuant to authority given by the corporate authorities of the City of Harrisburg as their free and voluntary act and as the free and voluntary act and deed of said municipality for the uses and purposes therein set forth.

Given under my hand and official seal this _____ day of _____, 20_____.

(SEAL)

Notary Public, South Dakota

My commission expires _____



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032
PHONE: 605-743-5872

Agenda Item Staff Report

Date: September 9, 2025
To: Planning Commission
From: Planning and Building Services

Agenda Item:

Plat of Tracts 1 of Merkle Addition and Pre-Annexation Agreement.

Public Hearing: ☐

Business Item: ☒

Informational: ☐

Information:

- The applicant is Pente Farms.
- The property located near the southeast corner of the intersection of 274th Street and 472th Avenue.
- This land is outside of Harrisburg city limits but is within Harrisburg's subdivision authority.
- This plat creates one, four-acre lot for ownership transfer.
- The applicant intends to assign one building eligibility to this parcel through Lincoln County Planning & Zoning for the future construction of a new home.
- The applicant has worked with the Lincoln County Highway Superintendent regarding access approval.
- The plat dedicates 50 feet of right of way on the East side of 472th Avenue.
- The pre-annexation agreement outlines the process of voluntary annexation in the future.

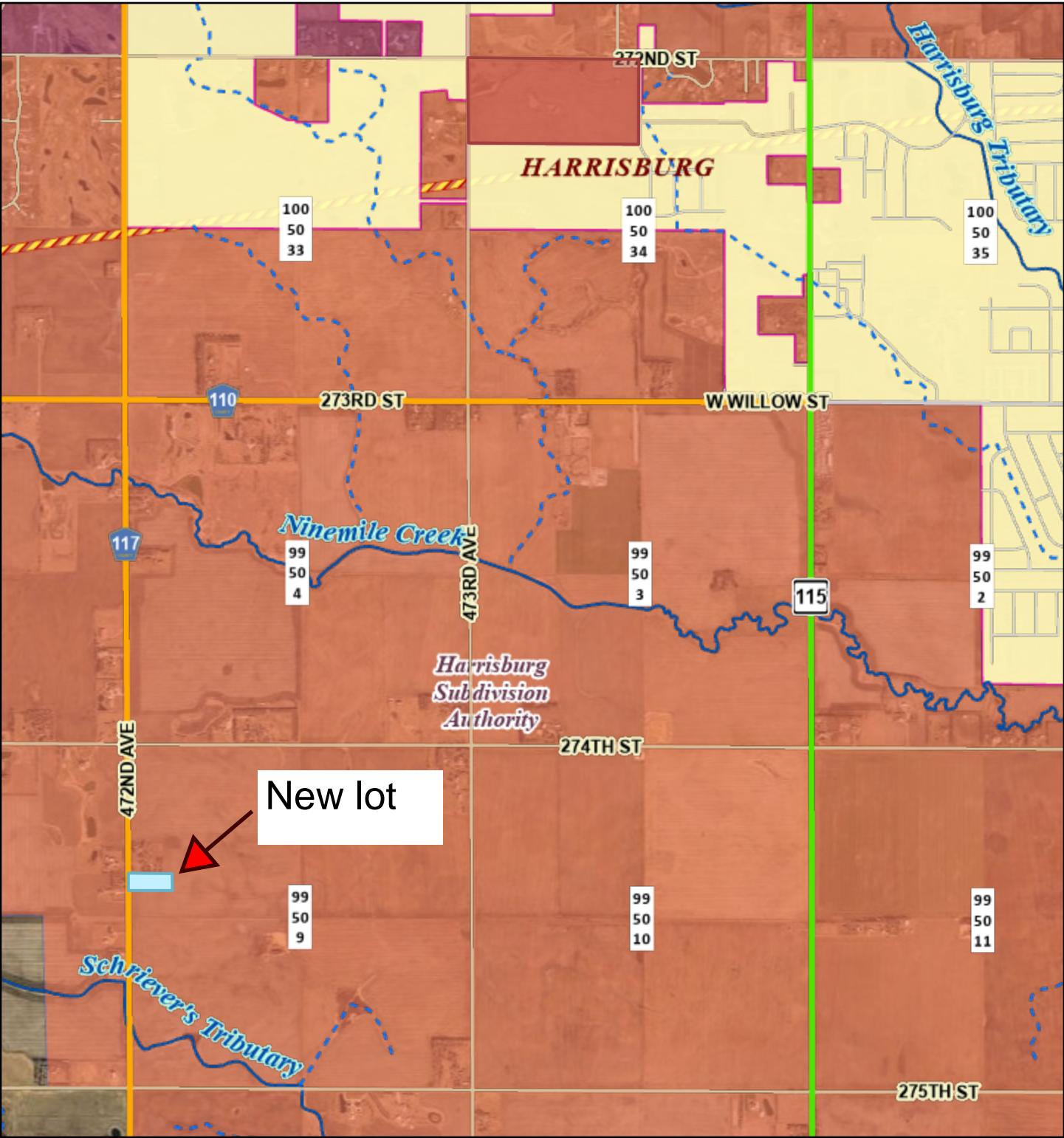
Attachments:

Plat Submittal
Pre-Annexation Agreement
Access Easement Exhibit

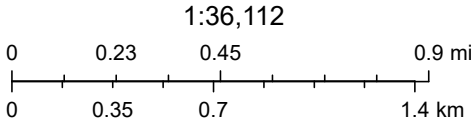
Staff Recommendation:

Staff recommends approval of the plat request to City Council.

Lincoln County Property Map



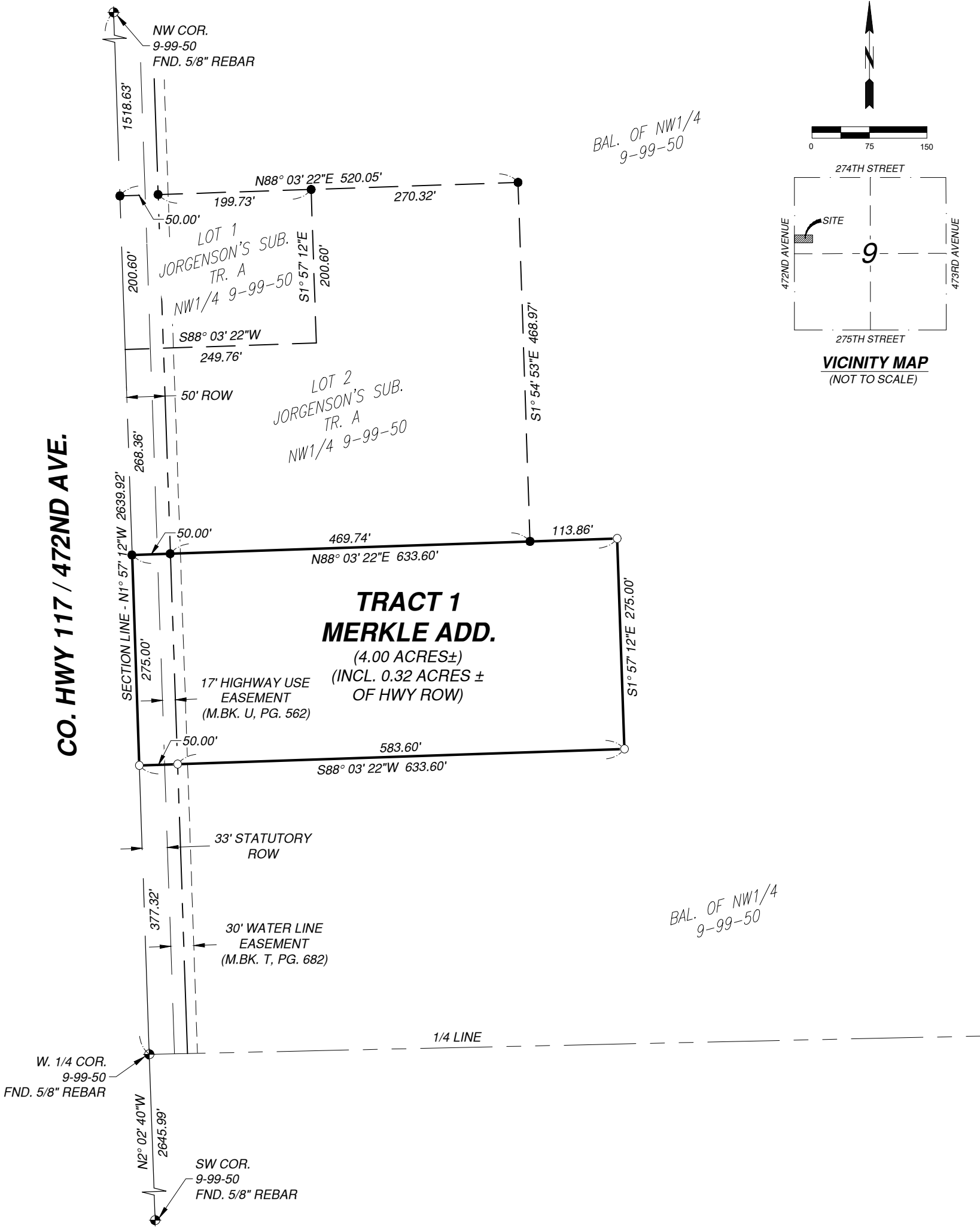
9/5/2025, 7:59:29 AM



Maxar

TRACT 1 OF MERKLE ADDITION

IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4) OF SECTION 9,
TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M., LINCOLN COUNTY, SOUTH DAKOTA



SURVEYOR'S CERTIFICATE

I, MICHAEL SEVERSON, A REGISTERED LAND SURVEYOR OF THE STATE OF SOUTH DAKOTA, DO HEREBY CERTIFY THAT I DID ON OR BEFORE THIS DATE, SURVEY THE NORTHWEST QUARTER (NW1/4) OF SECTION 9, TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M., LINCOLN COUNTY, SOUTH DAKOTA, AND PLATTED A PORTION INTO A PARCEL OF LAND DESCRIBED AS TRACT 1 OF MERKLE ADDITION IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4) OF SECTION 9, TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M., LINCOLN COUNTY, SOUTH DAKOTA, CONTAINING A TOTAL OF 4.00 ACRES, RESPECTIVELY, MORE OR LESS, AND IT IS IN ALL RESPECTS CORRECT.

DATED THIS _____ DAY OF _____, 2025

MICHAEL SEVERSON
REGISTERED LAND SURVEYOR NO. 15192

LEGEND

- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING R/WAY LINE
- EXISTING EASEMENT LINE
- FOUND 5/8" REBAR (UNLESS NOTED)
- SET 5/8" REBAR W/CAP "SEVERSON RLS 15192"

SURVEYOR'S NOTES

1. BASIS OF BEARING IS UTM 14 NORTH
2. ALL DISTANCES ARE GROUND DISTANCES
3. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT

PREPARED BY:

infrastructure
design group, inc.

116 W. 69TH ST. SUITE 200
SIOUX FALLS, SD 57108
PHONE: 605-271-5527
WEB: infrastructuredg.com

TRACT 1 OF MERKLE ADDITION

IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4)
OF SECTION 9, TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M.,
LINCOLN COUNTY, SOUTH DAKOTA

PROJ. NO.: 25117

DATE: 8/08/2025

DRAWN BY: MAS / BTC

CHECKED BY: MAS

SHEET NO: 1 OF 2

TRACT 1 OF MERKLE ADDITION

IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4) OF SECTION 9,
TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M., LINCOLN COUNTY, SOUTH DAKOTA

OWNER'S CERTIFICATE OF COMPLIANCE

WE DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL LAND INCLUDED IN THE ABOVE PLAT AND THAT SAID PLAT HAS BEEN MADE AT OUR REQUEST AND IN ACCORDANCE WITH OUR INSTRUCTIONS FOR THE PURPOSES OF PLATTING, AND THAT THE DEVELOPMENT OF THIS LAND SHALL CONFORM TO ALL EXISTING APPLICABLE ZONING, SUBDIVISION, AND EROSION AND SEDIMENT CONTROL LAWS, ORDINANCES, AND REGULATIONS.

DEDICATION OF LAND FOR PUBLIC USE

WE HEREBY DEDICATE TO THE PUBLIC FOR PUBLIC USE FOREVER THE STREETS, ROADS AND ALLEYS, AND PARKS AND PUBLIC GROUNDS, IF ANY, AS SHOWN ON SAID PLAT , INCLUDING ALL SEWERS, CULVERTS, BRIDGES, WATER DISTRIBUTION LINES, SIDEWALKS, AND OTHER IMPROVEMENTS ON OR UNDER THE STREETS, ALLEYS, PARKS AND PUBLIC GROUNDS WHETHER SUCH IMPROVEMENTS ARE SHOWN OR NOT. WE ALSO HEREBY GRANT EASEMENTS TO RUN WITH THE LAND FOR WATER, DRAINAGE, SEWER, GAS, ELECTRIC, TELEPHONE, OR OTHER PUBLIC UTILITY LINES OR SERVICE UNDER, ON, OR OVER THOSE STRIPS OF LAND DESIGNATED HEREON AS EASEMENTS.

WE HEREBY WAIVE ANY RIGHTS OF PROTEST TO ANY SPECIAL ASSESSMENT PROGRAM WHICH MAY BE INITIATED FOR THE PURPOSE OF INSTALLATION OF IMPROVEMENTS REQUIRED BY THE SUBDIVISION ORDINANCE OF THE CITY OF HARRISBURG.

WE ALSO DO HEREBY CERTIFY THAT THIS REPLAT WILL NOT PLACE ANY EXISTING LOT OR BUILDING IN VIOLATION OF ANY APPLICABLE ORDINANCE, CODE, REGULATION, LAW INCLUDING BUT NOT LIMITED TO ZONING, BUILDING, SUBDIVISION, AND FLOOD PREVENTION.

DATED THIS ____ DAY OF _____, 2025

ON BEHALF OF PENTE FARMS, LLC

TITLE: _____

STATE OF: _____)
:SS
COUNTY OF: _____)

ON THIS ____ DAY OF _____, 2025, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ OF PENTE FARMS, LLC, A SOUTH DAKOTA LIMITED LIABILITY COMPANY, AND THAT THEY, AS SUCH _____ BEING AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED, BY SIGNING THE NAME OF THE LLC THEMSELF AS _____.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL THIS ____ DAY OF _____, 2025

NOTARY PUBLIC, SOUTH DAKOTA

MY COMMISSION EXPIRES: _____

CITY PLANNING COMMISSION

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF HARRISBURG, SOUTH DAKOTA THAT THIS PLAT BE APPROVED AND THAT THE SAME BE PRESENTED TO THE CITY COUNCIL WITH THE RECOMMENDATION TO ADOPT SAID PLAT.

APPROVED THIS ____ DAY OF _____, 2025

CITY OF HARRISBURG PLANNING COMMISSION

CITY COUNCIL RESOLUTION

WHEREAS THIS PLAT HAS BEEN EXAMINED BY THE CITY COUNCIL OF HARRISBURG AND IT APPEARS TO THE CITY COUNCIL THAT: THE SYSTEM OF STREETS SET FORTH THEREIN CONFORMS TO THE SYSTEM OF STREETS OF THE EXISTING PLATS OF THE CITY, THAT ALL PROVISIONS OF THE CITY' S SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH, THAT ALL TAXES AND SPECIAL ASSESSMENTS UPON THE TRACT OR SUBDIVISION HAVE BEEN FULLY PAID, AND THAT SUCH PLAT AND THE SURVEY THEREOF HAVE BEEN EXECUTED ACCORDING TO LAW.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HARRISBURG, SOUTH DAKOTA THAT SAID PLAT IS HEREBY APPROVED, AND THE CITY FINANCE OFFICER IS HEREBY DIRECTED TO ENDORSE ON SAID PLAT A COPY OF THIS RESOLUTION AND CERTIFY THE SAME THEREON.

APPROVED THIS ____ DAY OF _____, 2025

MAYOR
CITY OF HARRISBURG, SOUTH DAKOTA

FINANCE OFFICER'S CERTIFICATE

I, _____, THE DULY APPOINTED, QUALIFIED AND ACTING FINANCE OFFICER OF THE CITY OF HARRISBURG, SOUTH DAKOTA, HEREBY CERTIFY THAT THE CERTIFICATE OF APPROVAL IS TRUE AND CORRECT INCLUDING THE SIGNATURE THEREON, AND THAT ANY SPECIAL ASSESSMENTS WHICH ARE LIENS UPON THE LAND SHOWN IN THE ABOVE PLAT, AS SHOWN BY THE RECORDS IN MY OFFICE, ON

THIS ____ DAY OF _____, 2025, HAVE BEEN PAID IN FULL.

CITY FINANCE OFFICER
CITY OF HARRISBURG, SOUTH DAKOTA

ROAD AUTHORITY CERTIFICATE

WE CERTIFY THAT THE LOCATION OF THE PROPOSED ACCESS TO AN ABUTTING SUBDIVISION STREET(S) FROM THE EXISTING PUBLIC STREET OR HIGHWAY IS HEREBY APPROVED AND ANY CHANGE IN THE LOCATION OF SAID ACCESS STREET(S) SHALL REQUIRE ADDITIONAL APPROVAL. (PER SDCL 11-3-12.1)

COUNTY HIGHWAY AUTHORITY
LINCOLN COUNTY, SOUTH DAKOTA

COUNTY TREASURER'S CERTIFICATE

I, TREASURER OF LINCOLN COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT ALL TAXES WHICH ARE LIENS UPON ANY LAND INCLUDED IN THE ABOVE (AND THE FOREGOING) PLATS, AS SHOWN BY THE RECORDS OF MY OFFICE, HAVE BEEN FULLY PAID.

DATED THIS ____ DAY OF _____, 2025

COUNTY TREASURER
LINCOLN COUNTY, SOUTH DAKOTA

LINC. CO
TREASURER

DIRECTOR OF EQUALIZATION

I, DIRECTOR OF EQUALIZATION OF LINCOLN COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT A COPY OF THE ABOVE PLAT HAS BEEN FILED AT MY OFFICE.

DIRECTOR OF EQUALIZATION
LINCOLN COUNTY, SOUTH DAKOTA

REGISTER OF DEEDS

FILED FOR RECORD THIS ____ DAY OF _____, 2025, AT ____

O'CLOCK __.M., AND RECORDED IN BOOK ____ OF PLATS ON PAGE ____.

REGISTER OF DEEDS
LINCOLN COUNTY, SOUTH DAKOTA

LINC. CO.
ROD

PREPARED BY:

infrastructure
design group, inc.

116 W. 69TH ST. SUITE 200
SIOUX FALLS, SD 57108
PHONE: 605-271-5527
WEB: infrastructureedg.com

TRACT 1 OF MERKLE ADDITION

IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4)
OF SECTION 9, TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M.,
LINCOLN COUNTY, SOUTH DAKOTA

PROJ. NO.: 25117

DATE: 8/08/2025

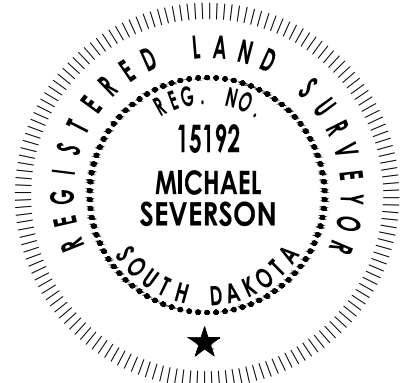
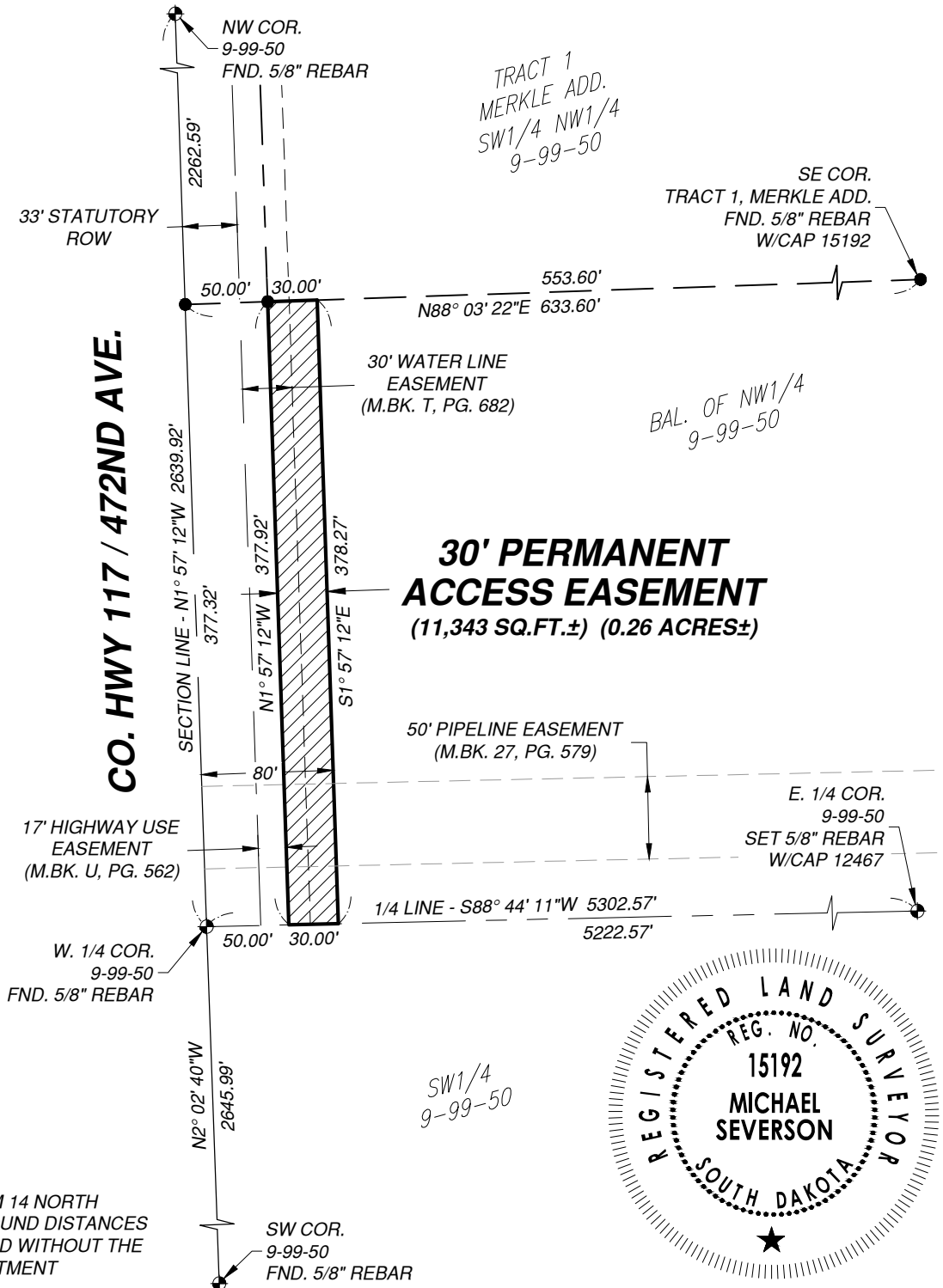
DRAWN BY: MAS / BTC

CHECKED BY: MAS

SHEET NO: 2 OF 2

EXHIBIT A

PERMANENT ACCESS EASEMENT
IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER
(SW1/4 NW1/4) LYING SOUTH OF TRACT 1 OF MERKLE ADDITION IN THE
SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4)
ALL IN SECTION 9, TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M.
LINCOLN COUNTY, SOUTH DAKOTA



SURVEYOR'S NOTES

1. BASIS OF BEARING IS UTM 14 NORTH
2. ALL DISTANCES ARE GROUND DISTANCES
3. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT

PREPARED BY:

infrastucture
design group, inc.

116 W. 69TH ST, STE. 200
SIOUX FALLS, SD 57108
PHONE: 605-271-5527
WEB: infrastructuredg.com

EXHIBIT A

PROJ. NO. 25117
DATE: 8/11/2025
DRAWN BY: BTC
CHECKED BY: MAS
SHEET NO: 1 OF 2

EXHIBIT A

PERMANENT ACCESS EASEMENT
IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER
(SW1/4 NW1/4) LYING SOUTH OF TRACT 1 OF MERKLE ADDITION IN THE
SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4)
ALL IN SECTION 9, TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M.
LINCOLN COUNTY, SOUTH DAKOTA

PARENT PARCEL DESCRIPTION

THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4) LYING SOUTH OF TRACT 1 OF TRACT 1 OF MERKLE ADDITION IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4) ALL IN SECTION 9, TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M., LINCOLN COUNTY, SOUTH DAKOTA

PERMANENT STORM SEWER EASEMENT DESCRIPTION

A PARCEL OF LAND FOR PERMANENT STORM SEWER EASEMENT PURPOSES LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4) LYING SOUTH OF TRACT 1 OF TRACT 1 OF MERKLE ADDITION IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4) ALL IN SECTION 9, TOWNSHIP 99 NORTH, RANGE 50 WEST OF THE 5TH P.M., LINCOLN COUNTY, SOUTH DAKOTA, SAID EASEMENT MORE PARTICULARLY DESCRIBED AS FOLLOWS;

THE EAST 30 FEET (E.30') OF THE WEST 80 FEET (W.80') OF THE ABOVE DESCRIBED PARENT PARCEL.

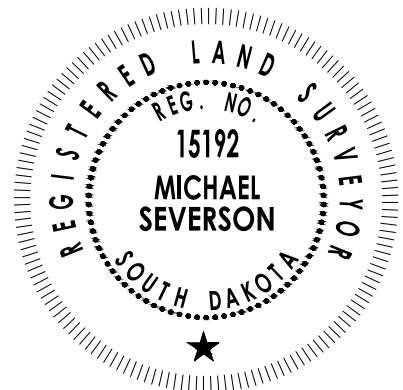
SAID EASEMENT DESCRIBED HEREIN CONTAINS 11,343 SQUARE FEET OR 0.26 ACRES MORE OR LESS

SURVEYOR'S CERTIFICATION

I, MICHAEL SEVERSON, A REGISTERED LAND SURVEYOR OF THE STATE OF SOUTH DAKOTA, DO HEREBY CERTIFY THAT THIS EXHIBIT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE INFORMATION SHOWN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DATED THIS _____ DAY OF _____, 2025

MICHAEL SEVERSON, RLS NO. 15192



PREPARED BY:

infrstructure
design group, inc.

116 W. 69TH ST, STE. 200
SIOUX FALLS, SD 57108
PHONE: 605-271-5527
WEB: infrastructuredg.com

EXHIBIT A

PROJ. NO. 25117
DATE: 8/11/2023
DRAWN BY: BTC
CHECKED BY: RDK
SHEET NO: 2 OF 2

PREPARED BY:
City of Harrisburg
301 E Willow Street
Harrisburg, SD 57032
605.743.5872

PRE-ANNEXATION AGREEMENT

This Pre-Annexation Agreement (the "Agreement") is made and entered into by and between the City of Harrisburg (the "City") and the undersigned property owners (the "Owner"). The purpose of this Agreement is to set forth the terms and conditions for the voluntary annexation of the Subdivision (defined below) by the City of Harrisburg.

The City and the Owners understand that the City's growth will eventually result in the City's municipal boundary becoming adjacent to the boundary of the Subdivision and that the annexation of the Subdivision will then be possible.

For and in consideration of the annexation of the property described below and the mutual promises set forth herein, the parties agree as follows:

1. Pursuant to SDCL 9-4-1.1, the owners of the property within the Subdivision will submit a Petition for Voluntary Annexation (the "Petition") within sixty days of receipt of a request by the City for the annexation of the real property described as follows

4.0 Acres illustrated in the attached preliminary plat as Tract1 of Merkle Addition in the Southwest Quarter of the Northwest Quarter of Section 9, Township 99 North, Range 50 West of the 5th P.M., Lincoln County, South Dakota.

(the "Subdivision")
2. The Owners agree that when they submit a Petition for Voluntary Annexation to the City that all of the real property within the Subdivision will be included in and subject to the Petition.
3. Owners agree to connect to City water and sanitary sewer mains within one year of installation of City water and sanitary sewer mains at the Owners' sole expense.
4. Once annexed, the owner agrees not to submit a petition to De-Annex.
5. Owners agree to comply with all existing zoning, building, and property maintenance codes.
6. The City and Owners agree to defer payment and collection of arterial street platting fees and open space contributions until the property is annexed, at which time payment will become due.

This Agreement shall be binding upon, and inure to the benefit of, the Owners and their respective heirs, successors, or assigns, and shall run with the land. This Agreement shall be recorded in the Lincoln County Register of Deeds Office to give notice to the public and all interested parties of the obligations herein.

Nothing in the Agreement shall be construed as requiring the City, at its sole expense, to construct or install any sanitary sewer lines, water distribution lines, or other improvements of any kind upon the Subdivision or extend such public improvements to service the Subdivision.

This Agreement embodies all agreements and representations of the Owners. There are no promises, terms, conditions, or allegations other than those contained herein; and this Agreement supersedes all previous communications, representations, and agreements, whether written or verbal, between the Owners. This Agreement may be modified only in writing and executed by all parties to this Agreement including any new owners of real estate within the Subdivision.

This Agreement may be executed in one or more counterparts, each of which when executed and delivered, shall be an original, but all such counterparts shall constitute one and the same instrument.

Dated this _____ Day of _____, 20_____.

(Signatures begin on next page)

OWNER

ON BEHALF OF PENTE FARMS, LLC

TITLE

STATE of SOUTH DAKOTA)
)SS
COUNTY OF LINCOLN)

On this the _____ day of _____, 20____, before me, the undersigned officer, personally appeared _____ of PENTE FARMS, LLC, A South Dakota Limited Liability Company, and that they, as such _____ being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the LLC themselves as _____.

In witness whereof, I have hereunto set my hand and official seal

(SEAL)

Notary Public, South Dakota
My commission expires _____

CITY OF HARRISBURG

DERICK WENCK, MAYOR

Attest:

DEB HARRIS, FINANCE OFFICER

STATE of SOUTH DAKOTA)
)SS
COUNTY OF LINCOLN)

I, the undersigned, a notary public in and for the county and state aforesaid, do hereby certify that Derick Wenck, personally known to me to be the Mayor of the City of Harrisburg, a municipal corporation, and Deb Harris, personally known to me to be the City Finance Officer of said corporation and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such Mayor and City Finance Officer, they signed and delivered the said instrument as Mayor and City Finance Officer of said municipality and caused the corporate seal of said municipality to be affixed thereto pursuant to authority given by the corporate authorities of the City of Harrisburg as their free and voluntary act and as the free and voluntary act and deed of said municipality for the uses and purposes therein set forth.

Given under my hand and official seal this _____ day of _____, 20_____.

(SEAL)

Notary Public, South Dakota
My commission expires _____



301 E WILLOW STREET • PO BOX 26 • HARRISBURG SD • 57032
PHONE: 605-743-5872

Agenda Item Staff Report

Date: September 9, 2025
To: Planning Commission
From: Planning and Zoning Staff

Agenda Item

**An application to voluntary annexation of the property legally described as
N1/2 NW1/4 of Section 34, Township 100N, Range 50W.**

Public Hearing: ☒

Business Item: ☒

Consent Item: ☐

Information

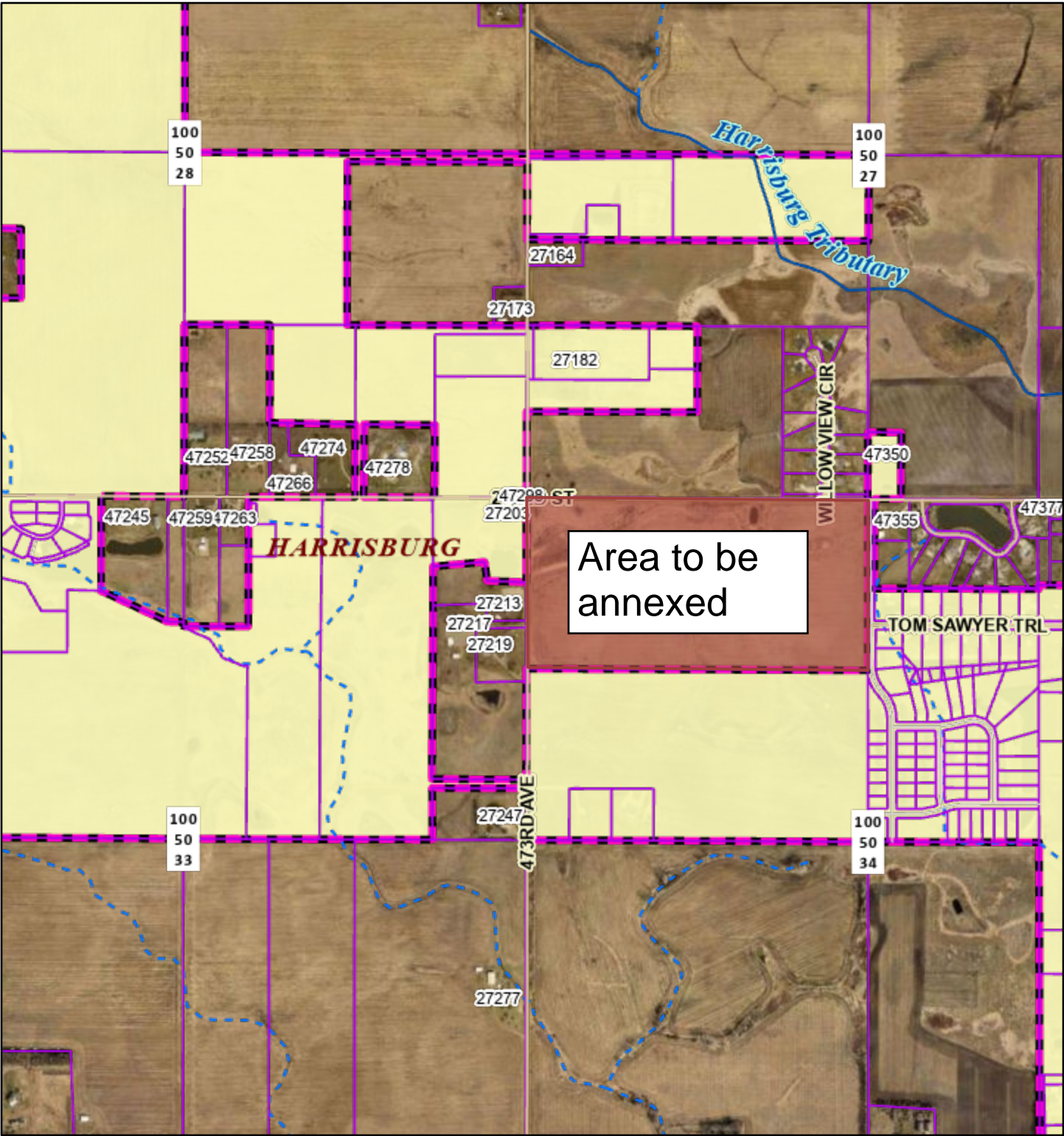
- Applicant is Allen Development, LLC
- The applicant is requesting to annexation of 80 acres.
- This property is currently zoned A-1 Agricultural and will remain agricultural until rezoned in the future.
- This parcel is contiguous to the City of Harrisburg.
- This property is in the City of Harrisburg's sanitary sewer service area and in Lincoln County Rural Water System's water service area.

Attachments

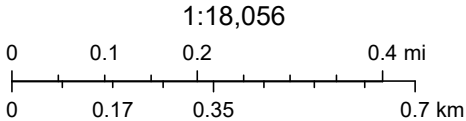
Annexation Exhibit

Staff Recommendation

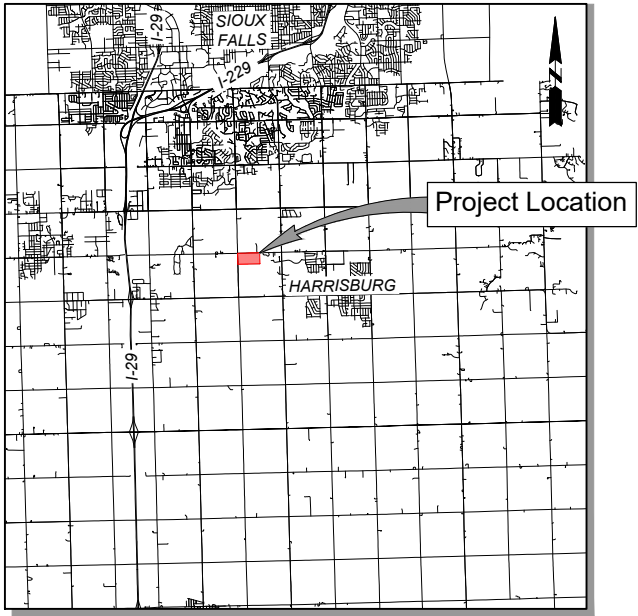
Recommend Approval of the annexation request to City Council.



9/4/2025, 4:24:36 PM



Maxar



Vicinity Map

CITY COUNCIL APPROVAL
BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HARRISBURG THAT THE PRELIMINARY PLAN OF THE LONE TREE ADDITION TO THE CITY OF HARRISBURG IS HEREBY APPROVED AND THAT THE FINANCE OFFICER OF THE CITY OF HARRISBURG IS HEREBY DIRECTED TO ENDORSE ON SUCH PLAN A COPY OF THIS RESOLUTION AND CERTIFY THE SAME THEREON.

ADOPTED THIS _____ DAY OF _____, 20 ____.

MAYOR
CITY OF HARRISBURG, SOUTH DAKOTA

ATTEST:

CITY FINANCE OFFICER
CITY OF HARRISBURG, SOUTH DAKOTA

STATE OF SOUTH DAKOTA)
:SS
COUNTY OF LINCOLN)

I, _____, THE DULY APPOINTED, QUALIFIED AND ACTING FINANCE OFFICER OF THE CITY OF HARRISBURG, SOUTH DAKOTA, HEREBY CERTIFY THAT THE ABOVE RESOLUTION IS A TRUE AND CORRECT COPY OF THE RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF HARRISBURG AT A MEETING HELD ON THE _____ DAY OF _____, 20 ____.

WITNESS MY HAND AS CITY FINANCE OFFICER AND THE OFFICIAL SEAL OF THE CITY OF HARRISBURG, SOUTH DAKOTA

CITY FINANCE OFFICER
CITY OF HARRISBURG, SOUTH DAKOTA

CITY PLANNING COMMISSION APPROVAL
THE CITY PLANNING COMMISSION OF THE CITY OF HARRISBURG APPROVES THE PRELIMINARY PLAN OF THE LONE TREE ADDITION TO THE CITY OF HARRISBURG AND THE SAME IS RECOMMENDED TO THE CITY COUNCIL OF THE CITY OF HARRISBURG FOR APPROVAL.

CITY OF HARRISBURG PLANNING COMMISSION
(CHAIR)

AUTHORIZED OFFICIAL APPROVAL

I, _____, AUTHORIZED OFFICIAL OF THE CITY OF HARRISBURG, DO HEREBY CERTIFY THAT I DID DULY REVIEW AND RECOMMEND APPROVAL OF THIS PRELIMINARY PLAN ON THIS _____ DAY OF _____, 20 ____.

AUTHORIZED OFFICIAL
CITY OF HARRISBURG, SOUTH DAKOTA

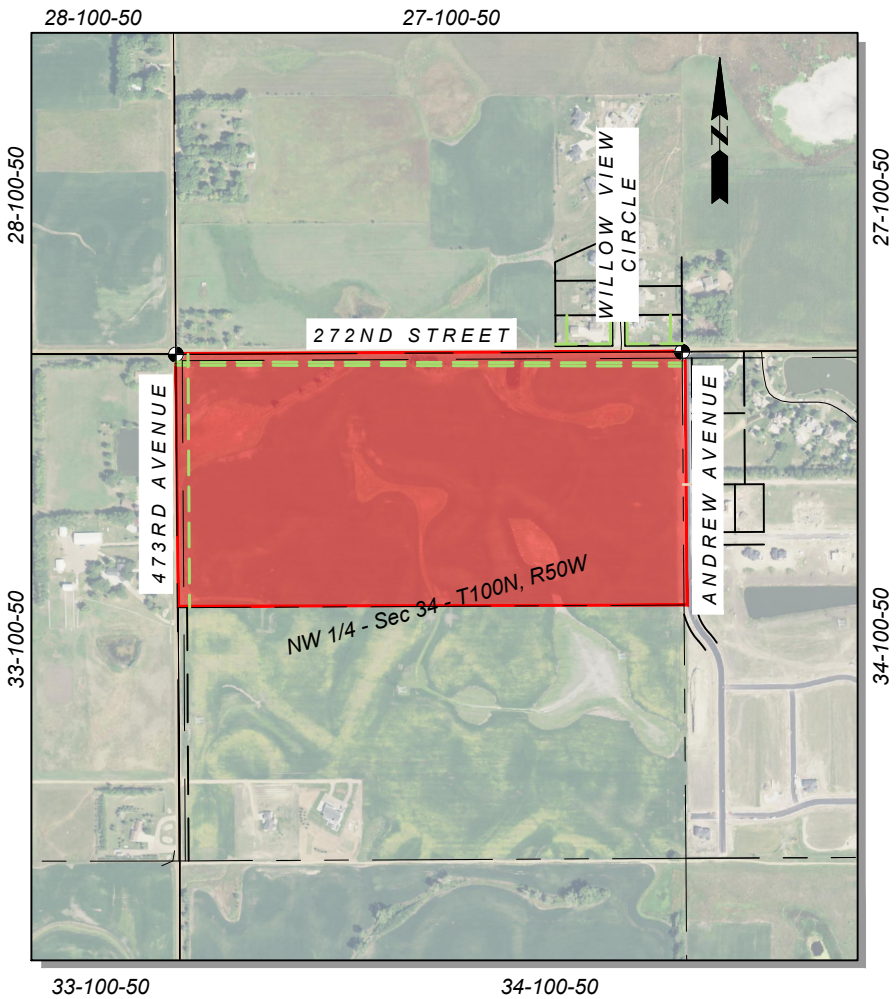
CITY ENGINEER APPROVAL

I, _____, CITY ENGINEER OF THE CITY OF HARRISBURG, DO HEREBY CERTIFY THAT I DID DULY REVIEW AND RECOMMEND APPROVAL OF THIS PRELIMINARY PLAN ON THIS _____ DAY OF _____, 20 ____.

CITY ENGINEER
CITY OF HARRISBURG, SOUTH DAKOTA

**CITY OF HARRISBURG
LINCOLN COUNTY**

**LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
2025**



Location Map

Plans By:

infrstructure
design group, inc.

116 W. 69TH STREET, SUITE 200
SIOUX FALLS, SOUTH DAKOTA 57108
PH. (605) 271-5527
www.infrastucturedg.com

Index of Sheets

SHEET NO. A.01 - A.02	TITLE SHEET & LEGEND
SHEET NO. B.01	GENERAL NOTES
SHEET NO. C.01 - C.02	TYPICAL SECTIONS
SHEET NO. D.01	EXISTING CONDITIONS
SHEET NO. E.01 - E.07	LAND USE & LOT LAYOUT
SHEET NO. F.01	PHASING LAYOUT
SHEET NO. G.01	DRAINAGE PLAN
SHEET NO. H.01 - H.07	UTILITY PLAN
SHEET NO. I.01	LIGHTING PLAN
SHEET NO. J.01	ACCESS PLAN

OWNER / DEVELOPER:

BLACK DOG, LLC
48022 TIMBER RIDGE PLACE
HARRISBURG, SD 57032
(605) 213-0431
EMAIL: DOUG@ALLENHOMESSD.COM

CIVIL ENGINEER / SURVEYOR:

INFRASTRUCTURE DESIGN GROUP, INC.
116 W 69TH STREET, SUITE 200
SIOUX FALLS, SD 57108
(605) 271-5527
EMAIL: MATTM@INFRASTRUCTUREDG.COM

BENCHMARKS

BM #1 (CP23)
REBAR WITH ALUMINUM CAP
NORTHWEST QUADRANT OF 272ND STREET & 473RD AVENUE
INTERSECTION
ELEV = 1460.10 (NAVD88)

BM#2 (CP 22)
REBAR WITH ALUMINUM CAP
SOUTHEAST QUADRANT OF 272ND STREET & ANDREW AVENUE
INTERSECTION
ELEV = 1457.54 (NAVD88)

CURRENT LEGAL DESCRIPTION:

THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 34,
TOWNSHIP 100 NORTH, RANGE 50 WEST OF THE 5TH PM., LINCOLN
COUNTY, SOUTH DAKOTA

TO BE PLATTED AS:

LONE TREE ADDITION TO THE CITY OF HARRISBURG, SOUTH DAKOTA

TOTAL ACRES OF SUBDIVISION:

79.85 ACRES ±






























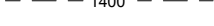
























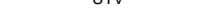


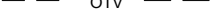


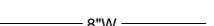


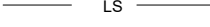




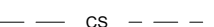


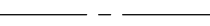



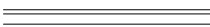






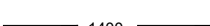
I, Mathew D. Martin, hereby certify that these plans were prepared by me, or under my direct supervision and that I am a duly registered engineer under the laws of the State of South Dakota.

8/07/2025

MATHEW D. MARTIN S.D. No. 15561 Date

s:\0-2024_projects\24020 - lone tree development\Design\CAD\SHEET\Signal\subdivision plan\24020-A-Title&Legend-Prelim.dwg
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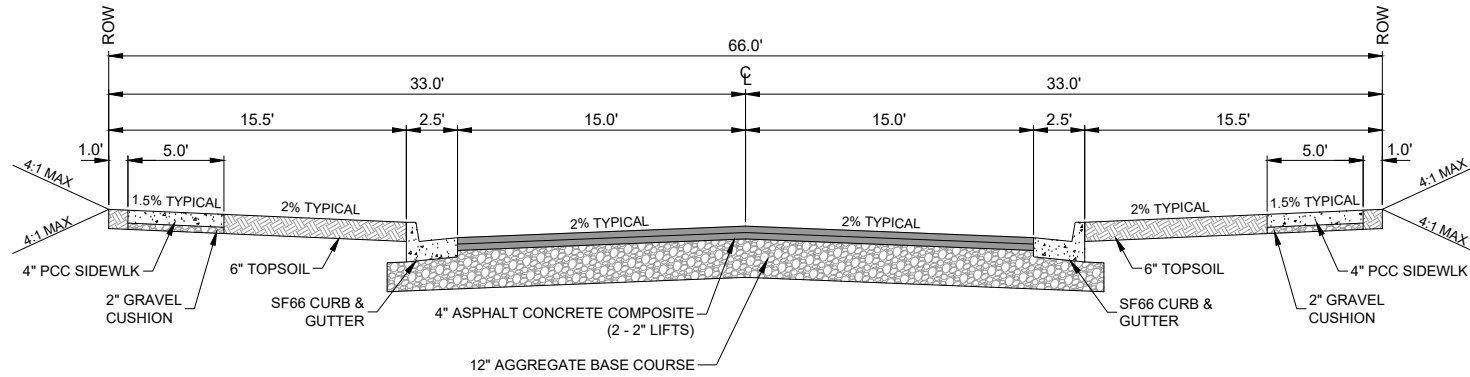
LEGEND OF SYMBOLS

	EXISTING FIRE HYDRANT		PROPOSED VALVE & BOX		WATER
	EXISTING VALVE & BOX		PROPOSED TEE		WELL
	EXISTING WATER MANHOLE		PROPOSED CROSS		TEST HOLE AND NUMBER
	EXISTING SANITARY MANHOLE		PROPOSED REDUCER OR INCREASER		SPOT LIGHT
	EXISTING JUNCTION BOX		PROPOSED SLEEVE		STREET LIGHT
	EXISTING APPROACH		PROPOSED FIRE HYDRANT		TRAFFIC SIGNAL LIGHT
	EXISTING SIDEWALK		PROPOSED 90° BEND		PEDESTRIAN SIGNAL LIGHT
	EXISTING DROP INLET		PROPOSED 45° BEND		GUY ANCHOR
	EXISTING CULVERT		PROPOSED 22 1/2° BEND		POWER POLE
	EXISTING CONTOURS		PROPOSED 11 1/4° BEND		UTILITY CLOSURE
	VITRIFIED CLAY PIPE		PROPOSED M.J. PLUG		SIGN
	SOLID WALL POLYVINYL CHLORIDE PIPE		GAS MAIN & SIZE		SPRINKLER HEAD
	POLYVINYL CHLORIDE TRUSS COMPOSITE PIPE		UNDERGROUND TELEPHONE		GAS METER
	ACRYLONITRILE-BUTADIENNE-STYRENE COMPOSITE		OVERHEAD TELEPHONE		MAILBOX
	CLOSED PROFILE WALL POLYVINYL CHLORIDE PIPE		UNDERGROUND POWER		HEDGE, BRUSH, SHRUBS, WOODS
	DUCTILE IRON PIPE		OVERHEAD POWER		DECIDUOUS TREE
	REINFORCED CONCRETE PIPE		FIBER OPTIC		CONIFEROUS TREE
	CAST IRON PIPE		UNDERGROUND CABLE TV		BENCHMARK LOCATION
	CURED IN PLACE PIPE		OVERHEAD CABLE TV		
	POLYETHYLENE PIPE		TRAFFIC		
	EXISTING WATER MAIN & SIZE		INDUSTRIAL WASTE		
	EXISTING STORM SEWER & SIZE		LAWN SPRINKLER LINE		
	GRAVITY SANITARY SEWER		WOOD FENCE		
	FORCE MAIN SANITARY SEWER		CHAIN LINK FENCE		
	COMBINED SEWER		BARBED WIRE FENCE		
	WATER SHUTOFF		CENTERLINE		
	PROPOSED WATER MAIN & SIZE		PROPERTY LINE		
	PROPOSED SANITARY SEWER		CONC. CURB & GUTTER		
	PROPOSED STORM SEWER & SIZE		PROPOSED APPROACH		
	PROPOSED SANITARY CLEAN OUT		PROPOSED SIDEWALK		
			PROPOSED DROP INLET		
			PROPOSED STORM SEWER JUNCTION BOX		
			PROPOSED CONTOURS		

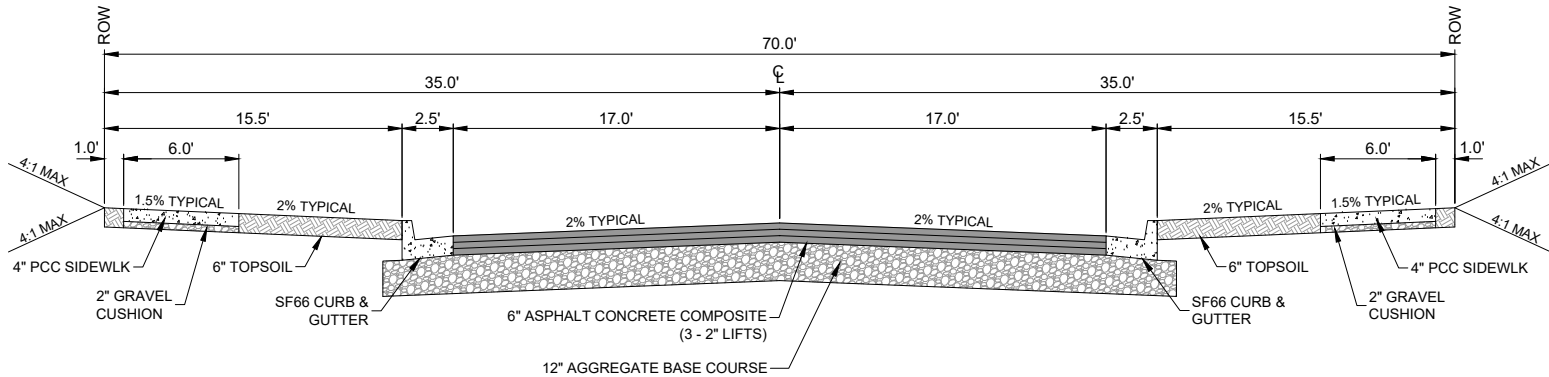


DESIGNED BY: JDG	ACAD FILE: 24020-A-Title&Legend-Prelim.dwg
DRAWN BY: JDG	DATE:
CHECKED BY: JDG	DATE:
REVISIONS:	BY: DATE:
	BY: DATE:

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PLOT DATE: 07/20/25 1:08 PM Matthew Martin

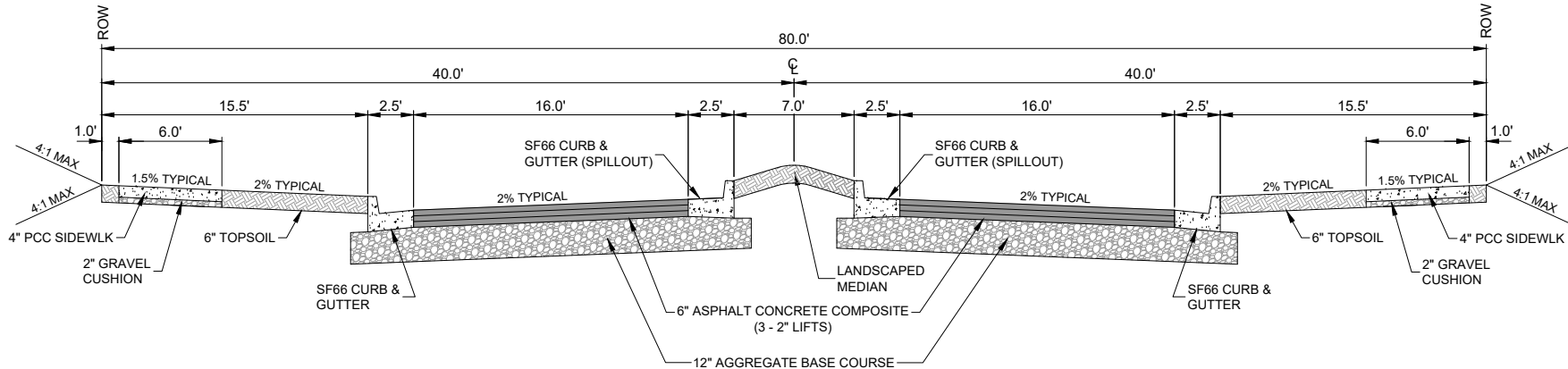


LOCAL RESIDENTIAL STREET - 66' RIGHT OF WAY



LONE TREE AVENUE, OSCAR TRAIL - 70' RIGHT OF WAY

TYPICAL COLLECTOR STREET SECTION

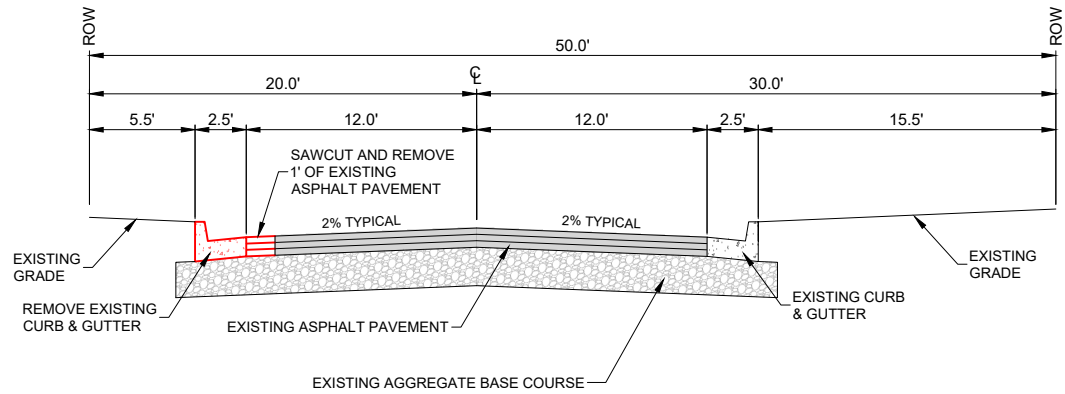


LONE TREE AVENUE WITH MEDIAN - 80' RIGHT OF WAY

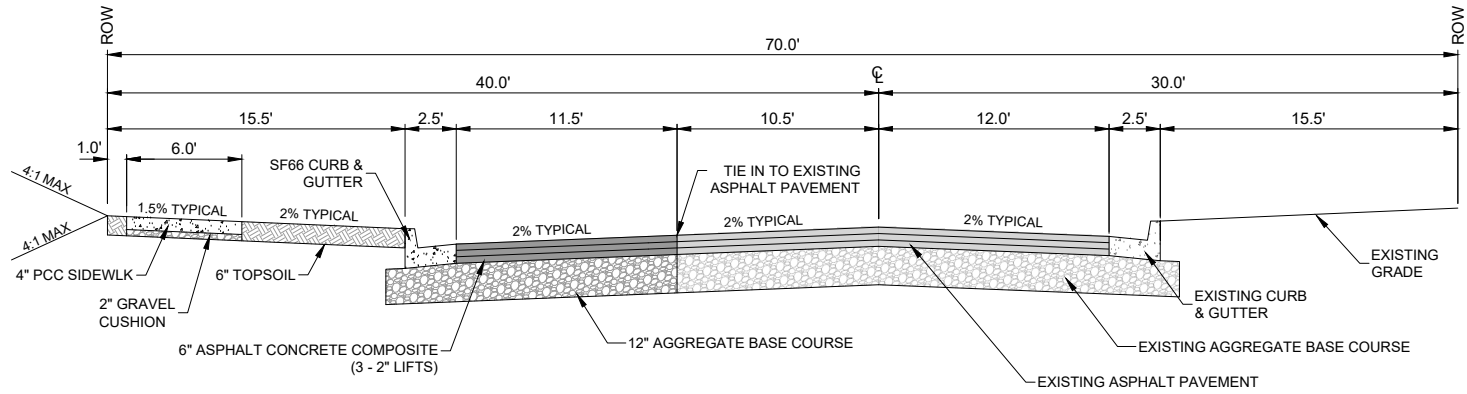
TYPICAL COLLECTOR STREET SECTION AT APPROACHES TO 272ND STREET



s:\0-2024 projects\24020 - lone tree development\Drawings\CAD SHEETS\preliminary subdivision\plan\24020-C-Typical Sections-Prelim.dwg
PLOT DATE: 07/20/25 1:08 PM, Matthew Martin



EXISTING ANDREW AVENUE - 50' RIGHT OF WAY

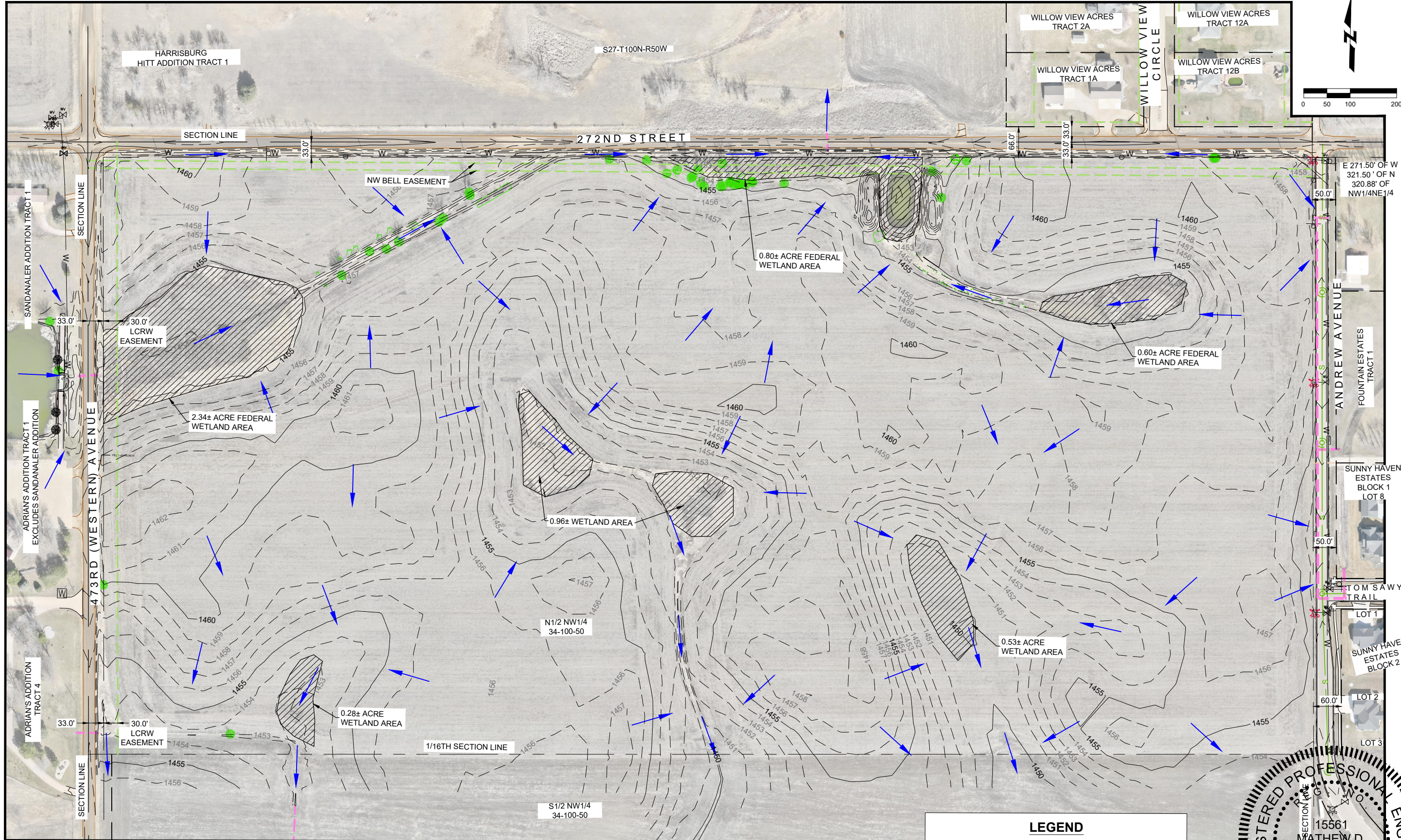


ANDREW AVENUE WIDENING - 70' RIGHT OF WAY



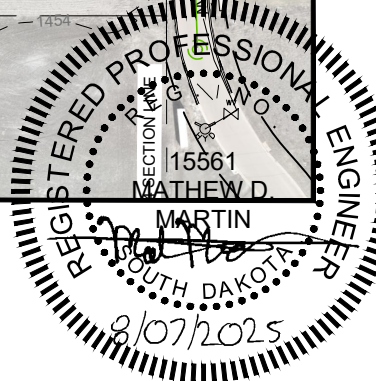
TYPICAL SECTIONS			
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CHECKED BY: IDG		DATE:	
REVISIONS:		BY:	
		DATE:	

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PLOT DATE: 07/20/25 1:07 PM, Matthew Martin



LEGEND

← EXISTING FLOW DIRECTION



EXISTING CONDITIONS	
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DRAWN BY: JDS	DATE:
CHECKED BY: JDS	DATE:
REVISIONS:	BY: DATE:



SHEET NO.
D.01

LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

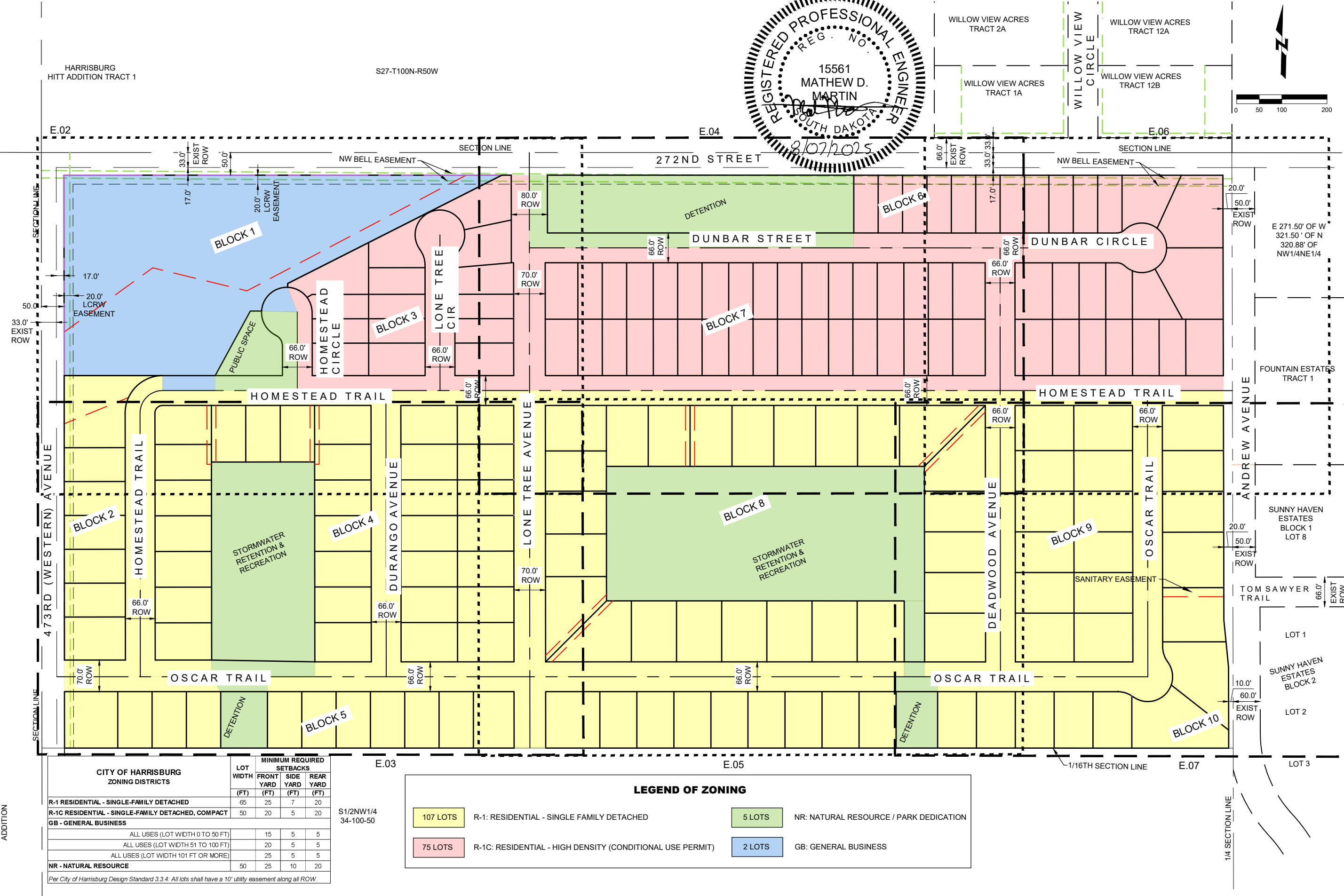
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PLOT DATE: 07/20/25 1:07 PM, Matthew Martin

SANDANALER ADDITION TRACT 1

ADRIAN'S ADDITION TRACT 1
EXCLUDES SANDANALER ADDITION

ADRIAN'S ADDITION
TRACT 4

ADRIAN'S ADD TRACT 4A
NE 1/4 EXCLUDES HENSCH
ADDITION



LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

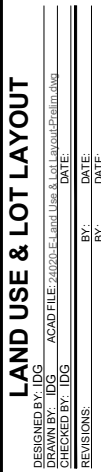
LAND USE & LOT LAYOUT

DESIGNED BY: JLG
DRAWN BY: JLG
CHECKED BY: JLG
ACAD FILE: 24020-E Land Use & Lot Layout-Prelim.dwg
DATE: 07/20/25
BY: DATE: 07/20/25

infrastucture
design group, inc.

SHEET NO.

E.01





**LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD**

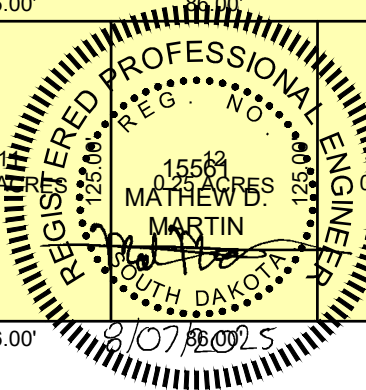
LAND USE & LOT LAYOUT

infr▲structure
design group, inc.

SHEET NO.

E.03

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PLOT DATE: 07/20/25 1:07 PM, Matthew Martin



LAND USE & LOT LAYOUT

DESIGNED BY: JLG
DRAWN BY: JLG
CHECKED BY: JLG
ACAD FILE: 24020-E-Land Use & Lot Layout-Prelim.dwg
REVISIONS:
BY: DATE:
BY: DATE:

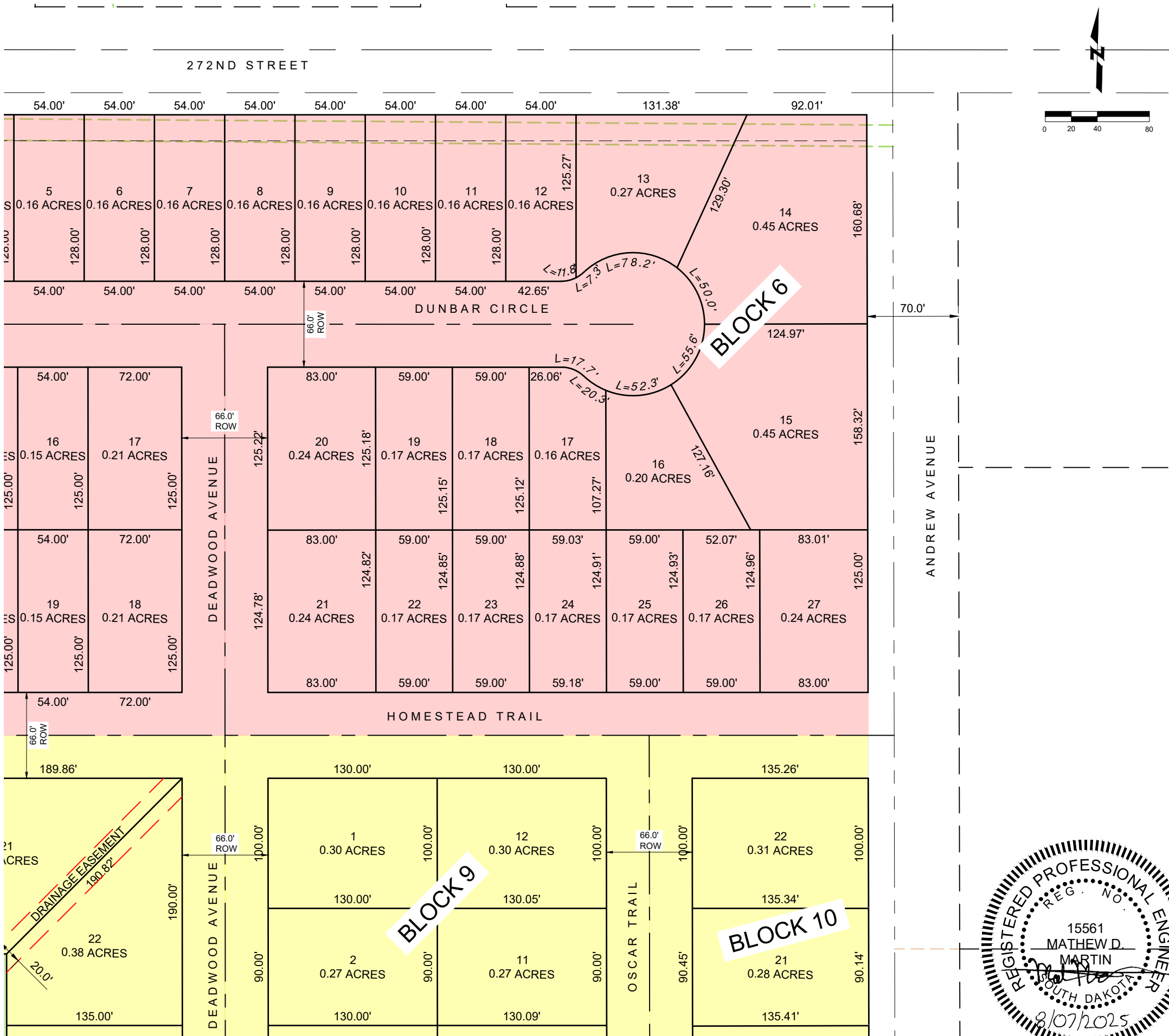


SHEET NO.

E.05

LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

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PLOT DATE: 07/20/25 1:07 PM, Matthew Martin



LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

LAND USE & LOT LAYOUT

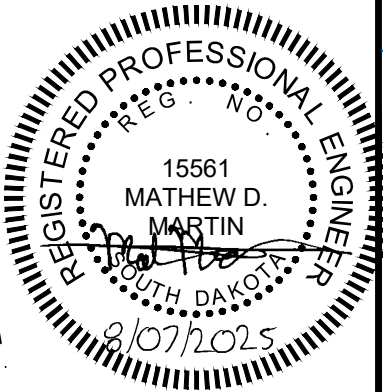
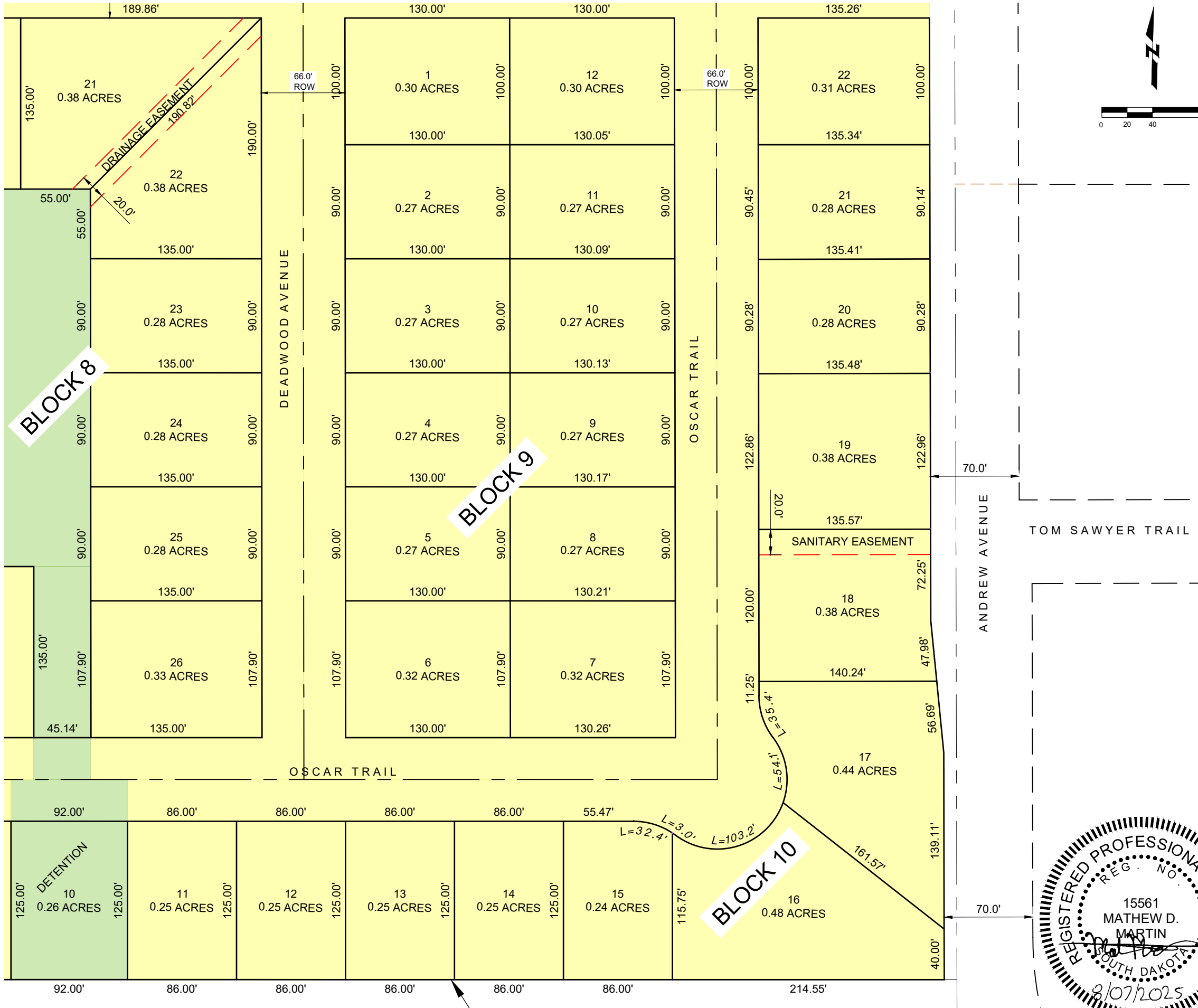
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REVISIONS:	BY: DATE:



SHEET NO.

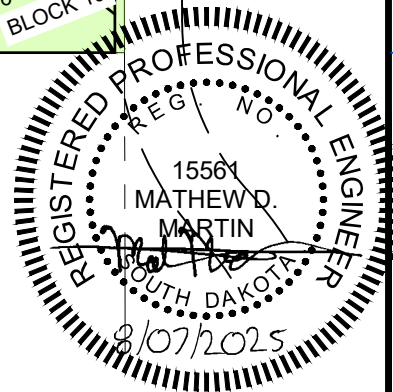
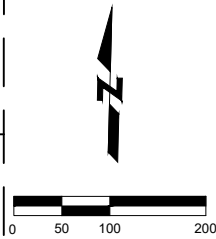
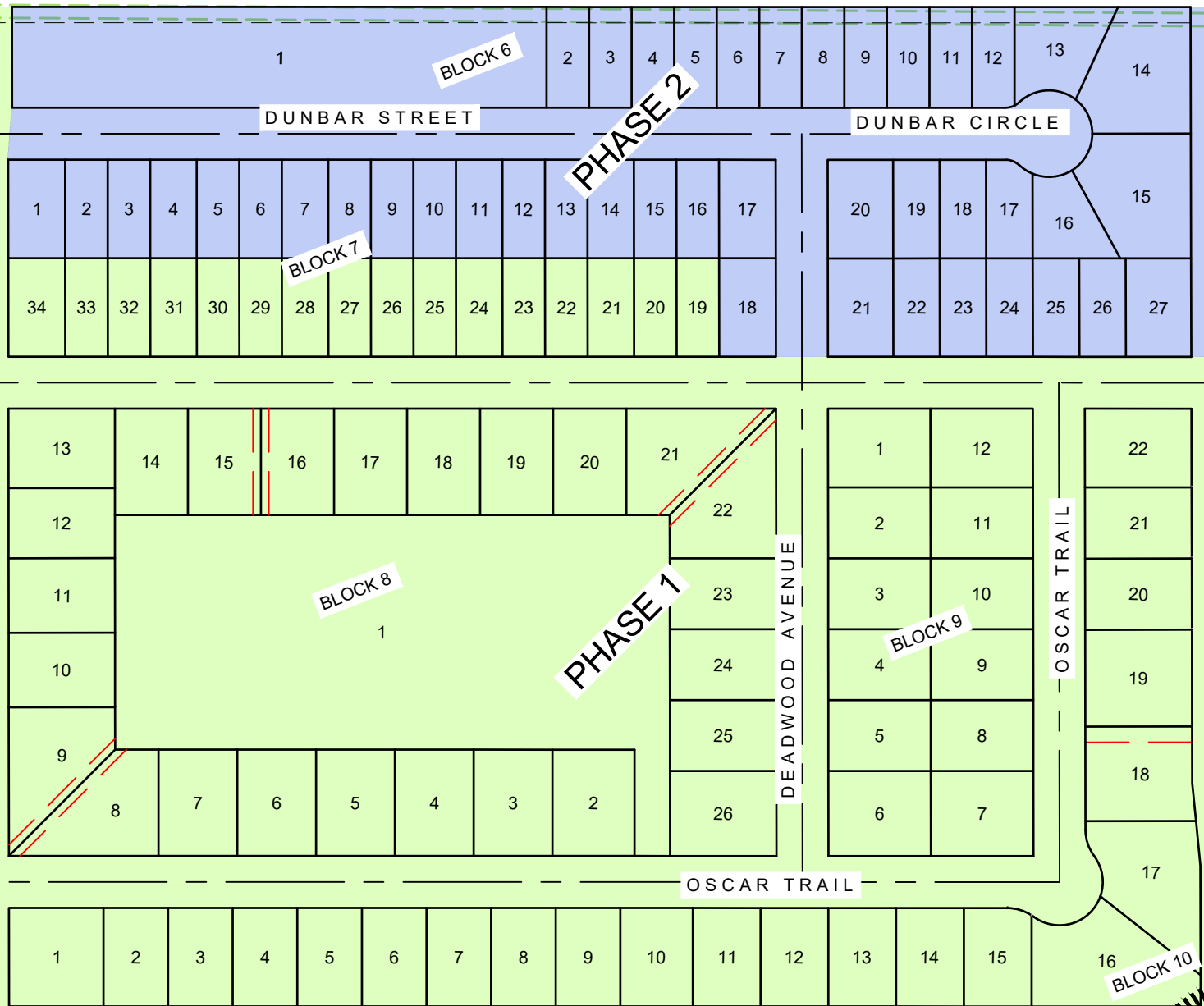
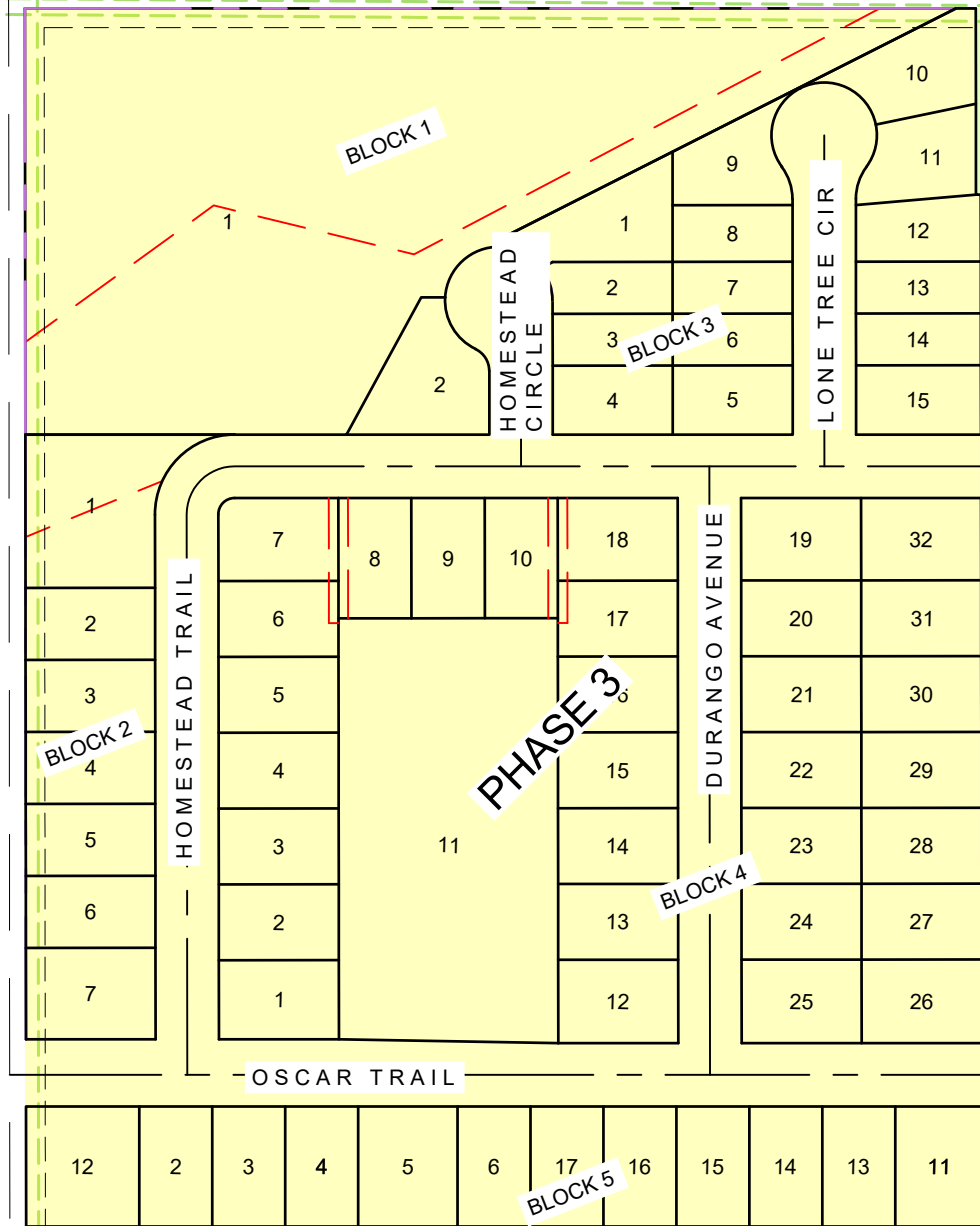
E.06

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PLOT DATE: 07/20/25 1:07 PM, Matthew Martin



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PLOT DATE: 07/20/25 1:08 PM Matthew Martin

473RD (WESTERN) AVENUE



LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

PHASING LAYOUT

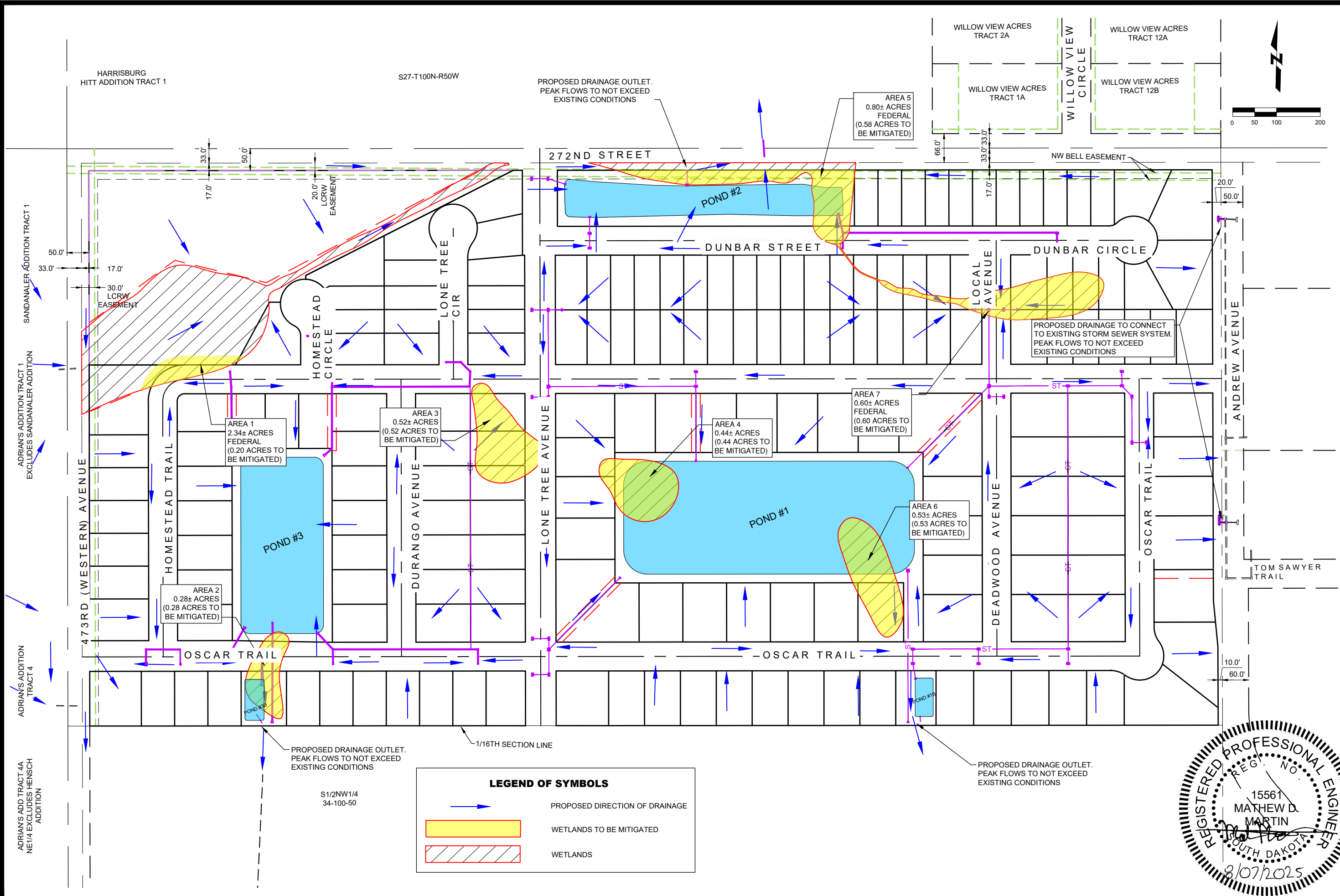
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DRAWN BY: JDC	DATE:
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REVISIONS:	BY: DATE:



SHEET NO.

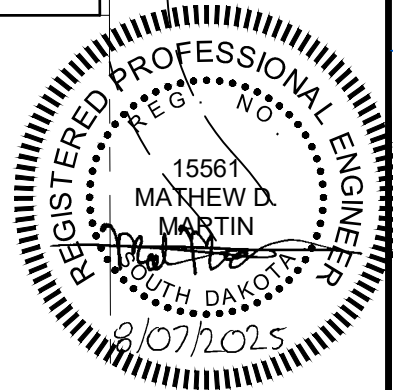
F.01

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PLOT DATE: 07/07/2025 1:08 PM Matthew Martin



LEGEND OF SYMBOLS

	PROPOSED DIRECTION OF DRAINAGE
	WETLANDS TO BE MITIGATED
	WETLANDS



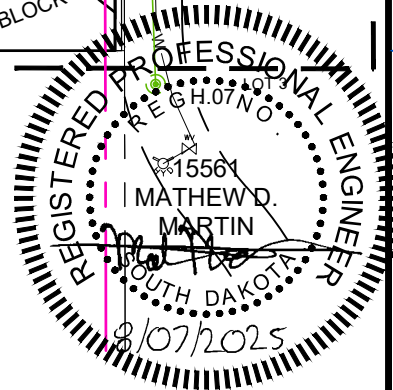
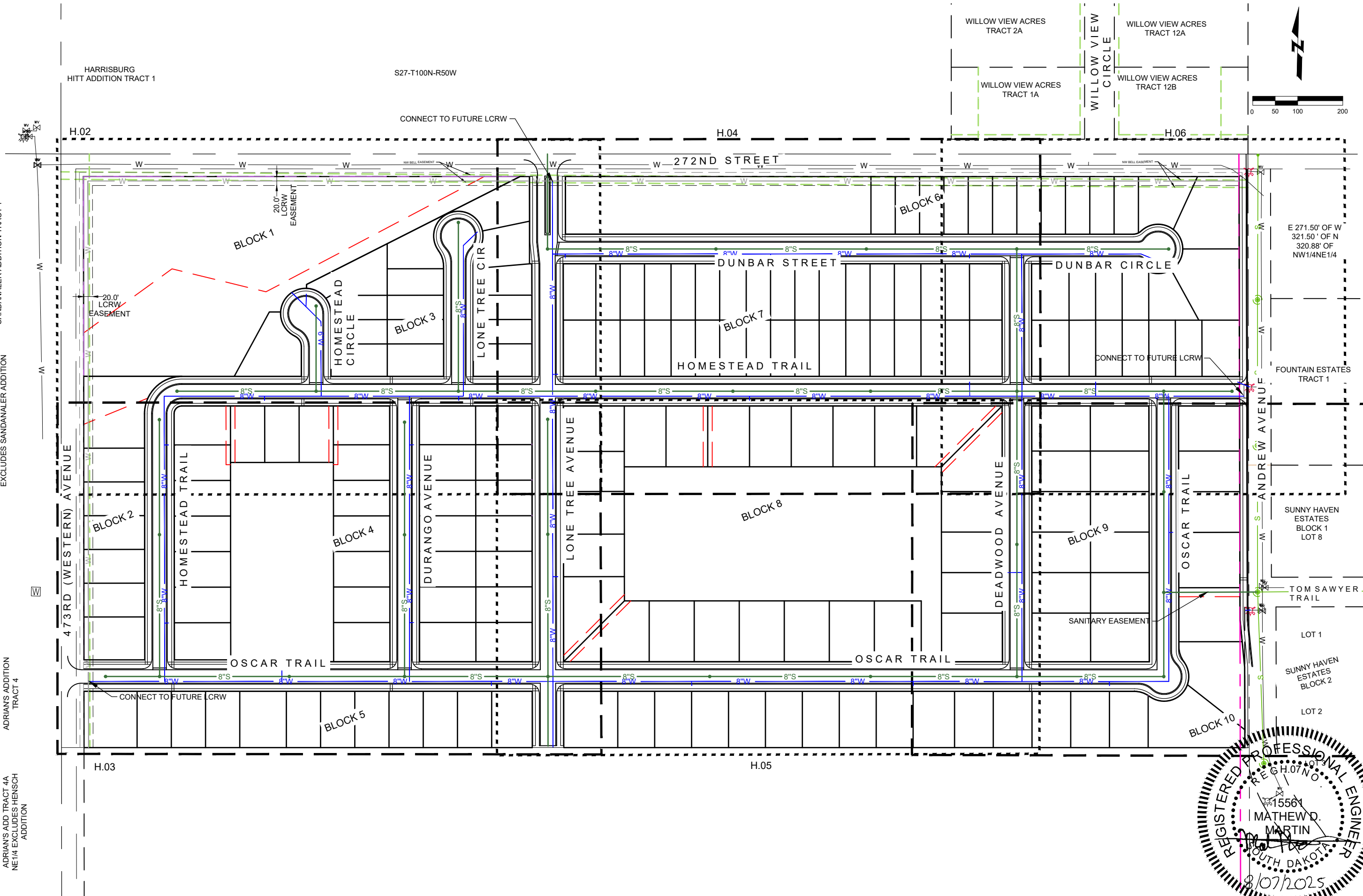
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PLOT DATE: 07/07/2025 1:08 PM Matthew Martin

SANDANALER ADDITION TRACT 1

ADRIAN'S ADDITION TRACT 1
EXCLUDES SANDANALER ADDITION

ADRIAN'S ADDITION
TRACT 4

ADRIAN'S ADD TRACT 4A
NE 1/4 EXCLUDES HENSCH
ADDITION



LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

UTILITY PLAN

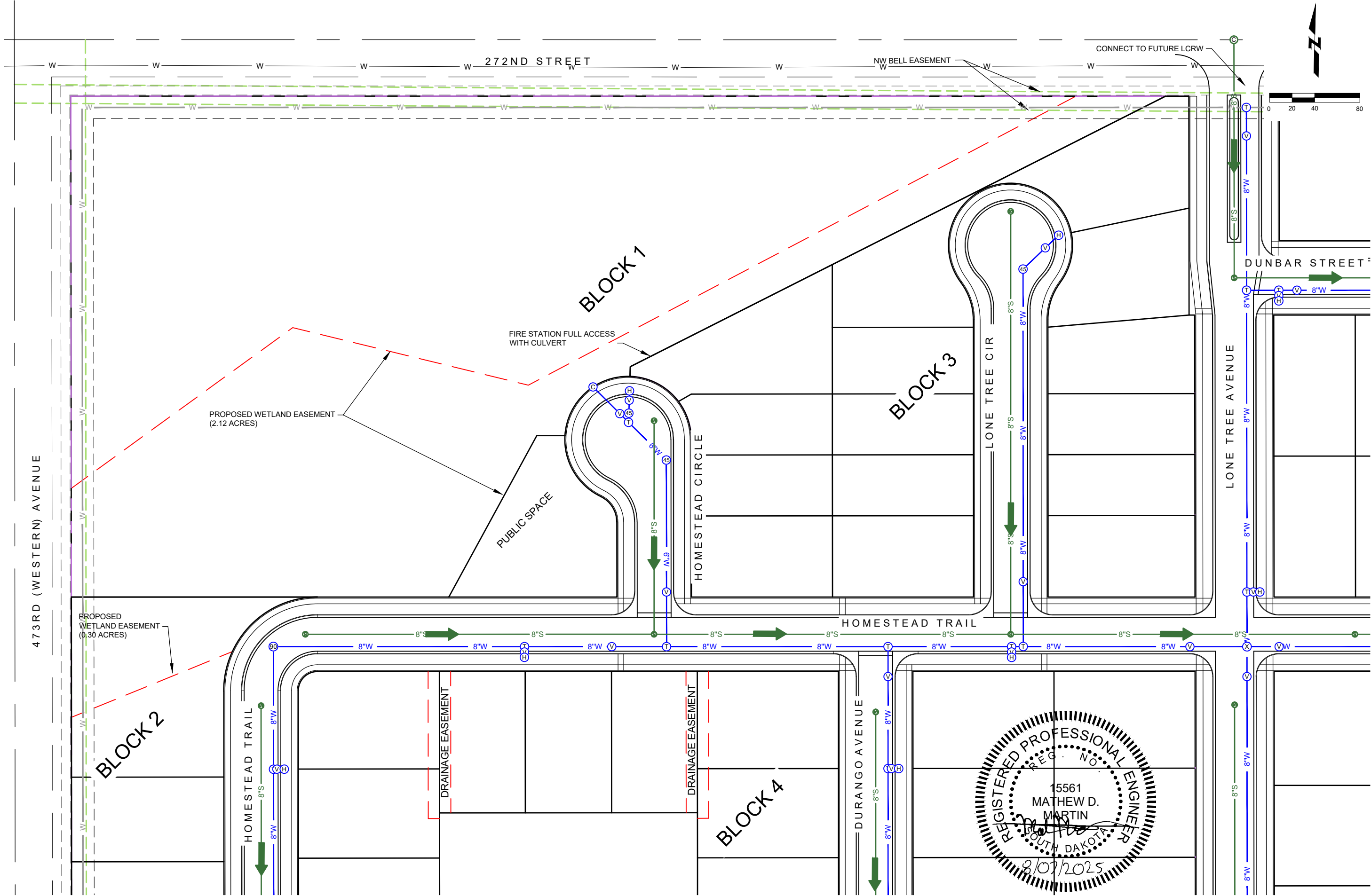
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CHECKED BY: IDG
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DATE: DATE: DATE: DATE: BY: BY: BY: BY: REVISIONS:



SHEET NO.

H.01

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PLOT DATE: 07/20/25 1:08 PM, Matthew Martin



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PLOT DATE: 07/20/25 1:08 PM, Matthew Martin

473RD (WESTERN) AVENUE

WETLAND EASEMENT

BLOCK 2

HOMESTEAD TRAIL

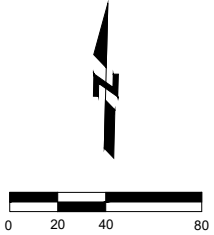
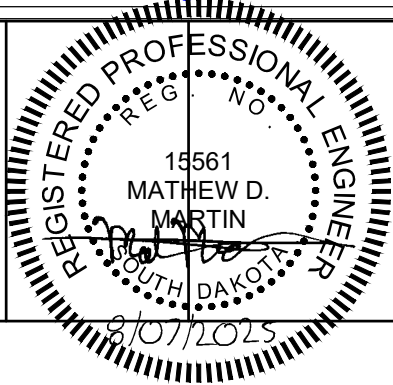
BLOCK 4

DURANGO AVENUE

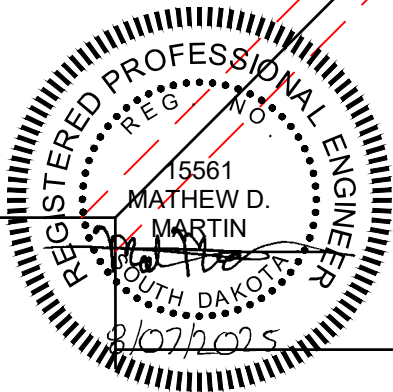
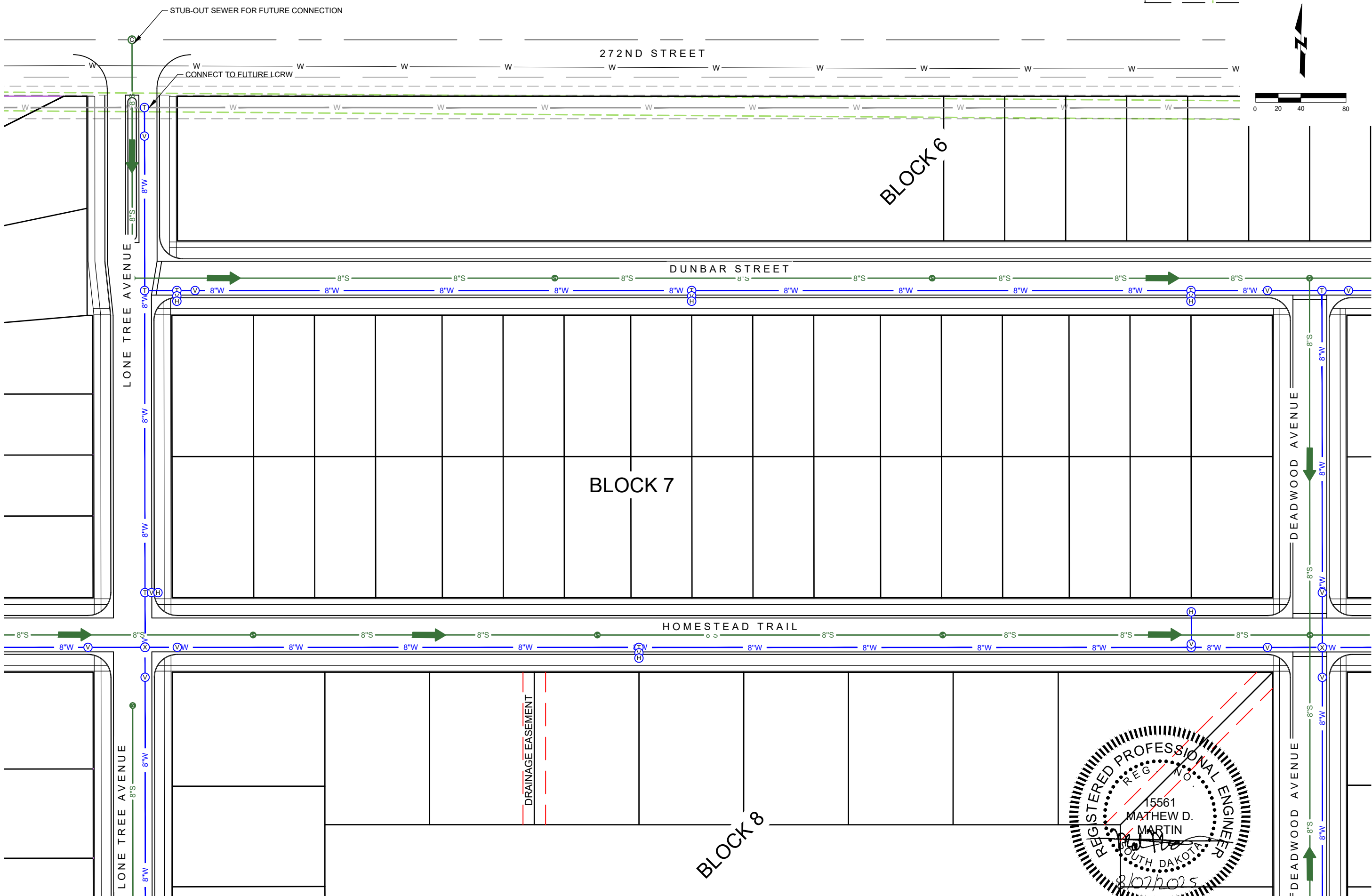
LONE TREE AVENUE

OSCAR TRAIL

CONNECT TO FUTURE LCRW



s:\0-2024 projects\24020 - lone tree development\Design\CAD SHEETS\preliminary subdivision\plan\24020-H-Utility Plan-Prelim.dwg
PLOT DATE: 07/20/25 1:08 PM, Matthew Martin



LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

UTILITY PLAN

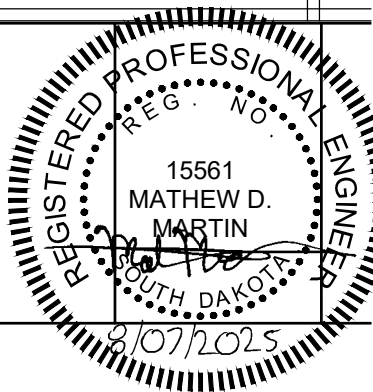
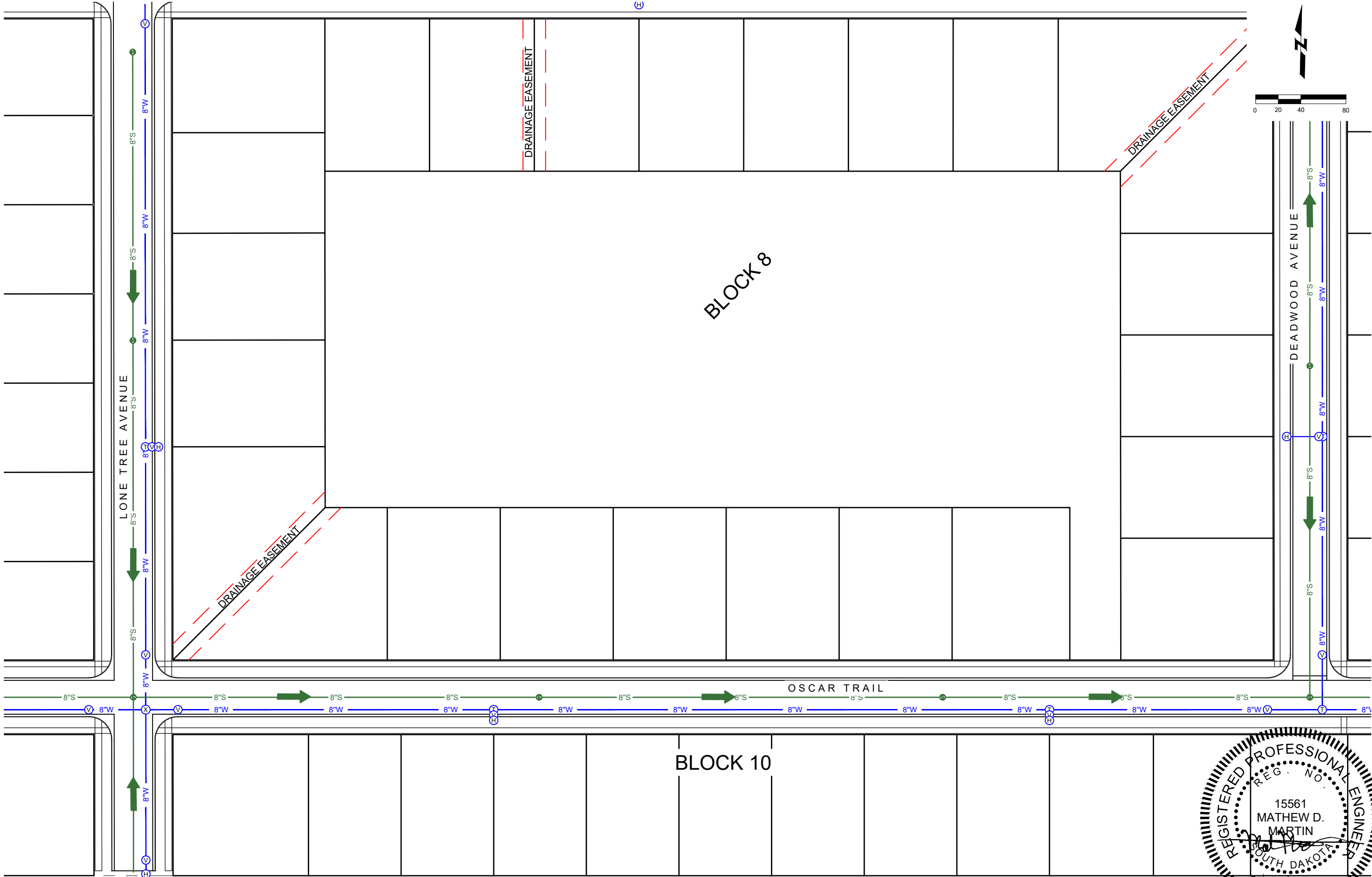
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DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



SHEET NO.

H.04

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PLOT DATE: 07/20/25 1:08 PM Matthew Martin



LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

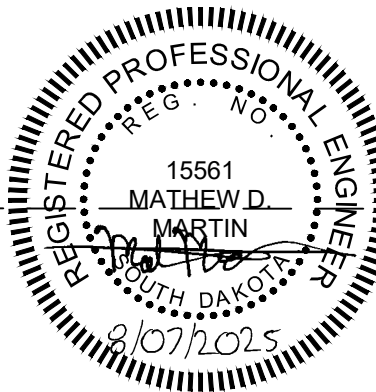
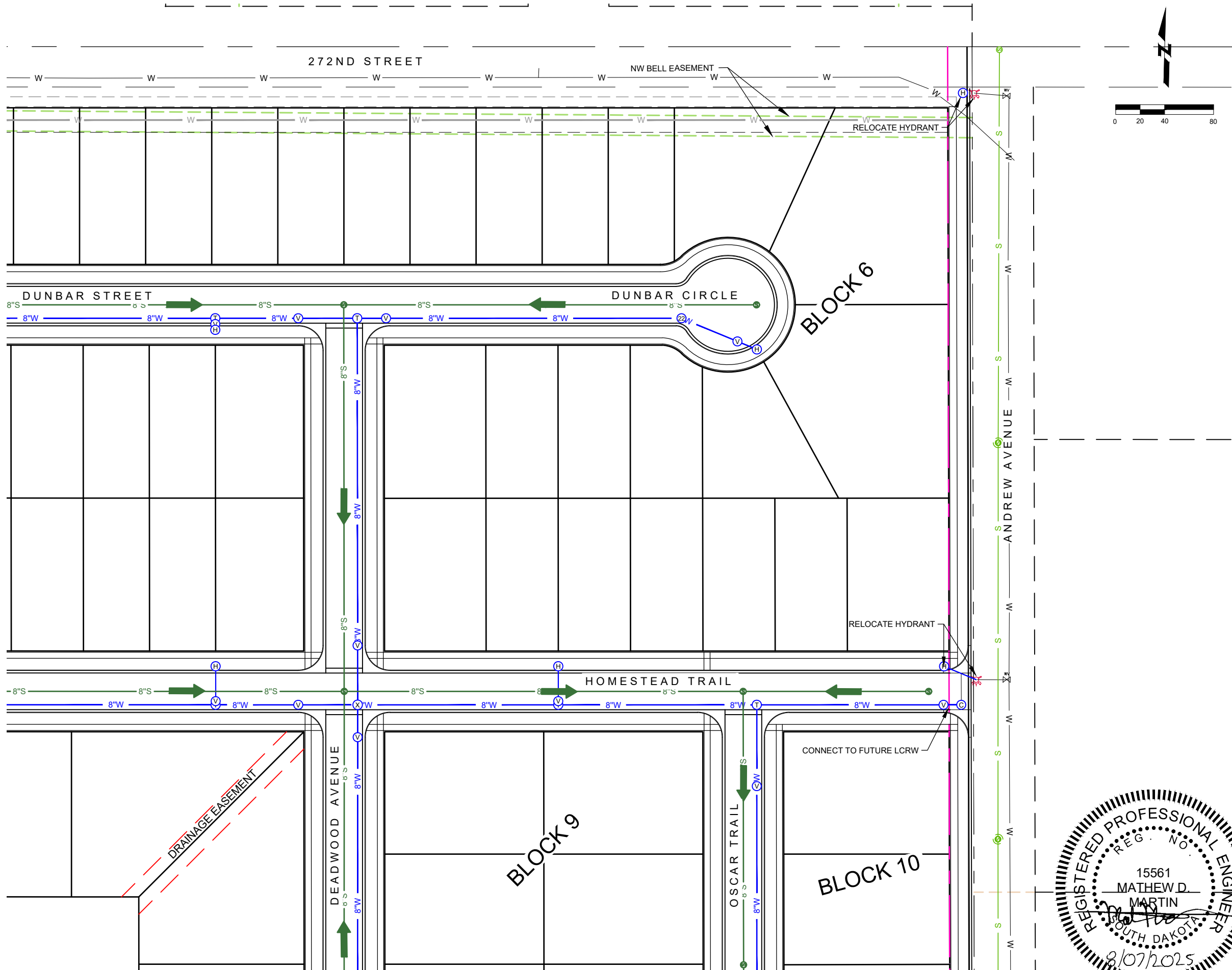
UTILITY PLAN	
DESIGNED BY: IDG	ACAD FILE: 24020-H-Utility Plan-Prelim.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



SHEET NO.

H.05

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PLOT DATE: 07/20/25 1:08 PM Matthew Martin

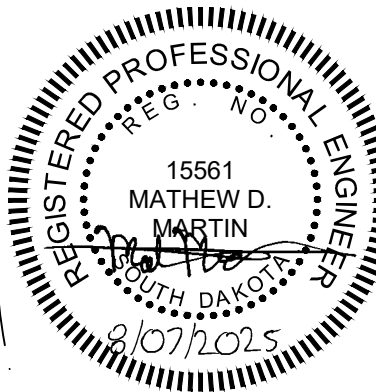
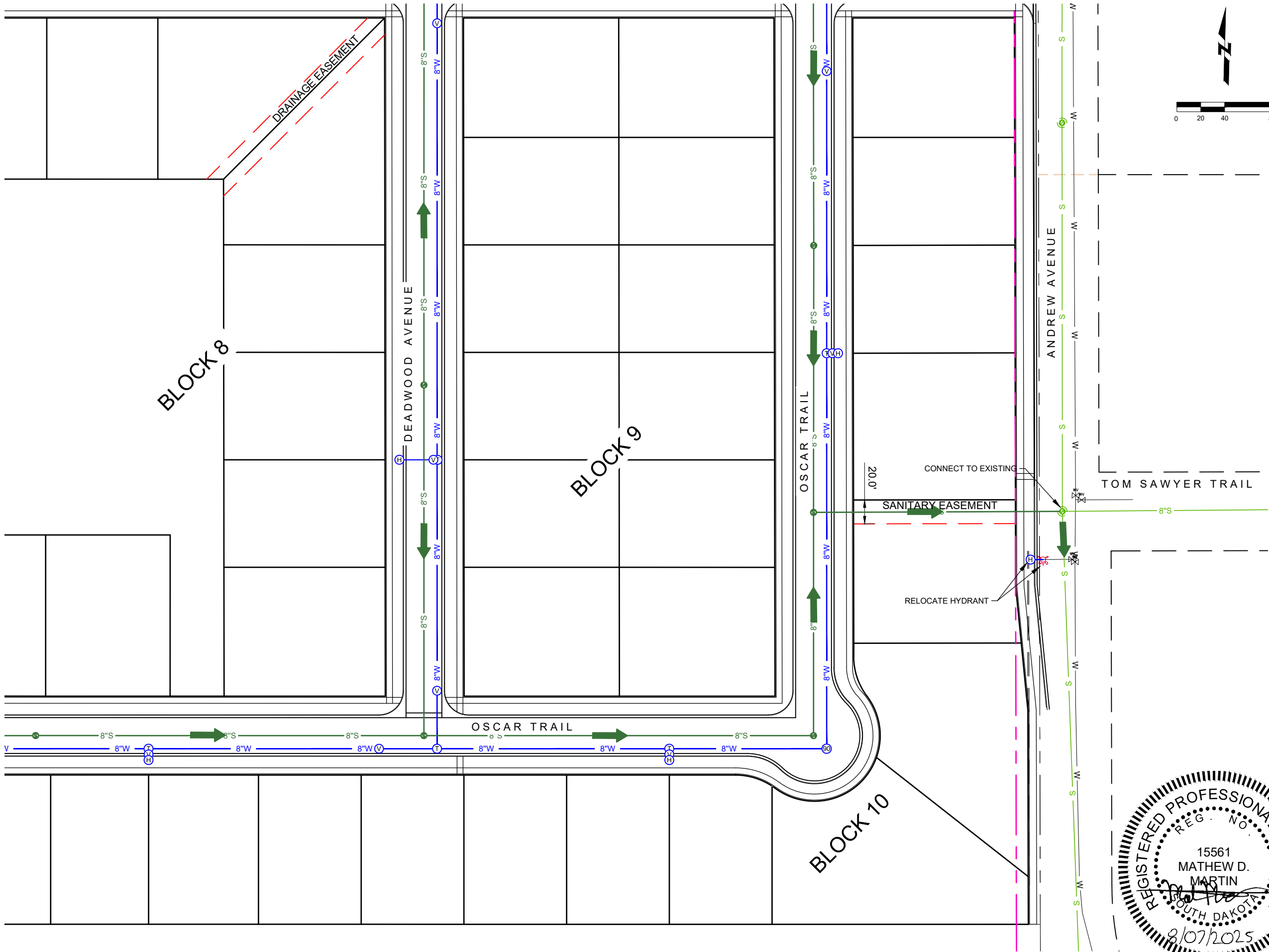


LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

UTILITY PLAN			
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DRAWN BY: IDG		DATE:	
CHECKED BY: IDG		DATE:	
REVISIONS:		BY:	



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PLOT DATE: 07/20/25 1:08 PM, Matthew Martin



LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

UTILITY PLAN	
DESIGNED BY: IDG	ACAD FILE: 24020-H-Utility Plan-Prelim.dwg
DRAWN BY: IDG	DATE:
CHECKED BY: IDG	DATE:
REVISIONS:	BY: DATE:



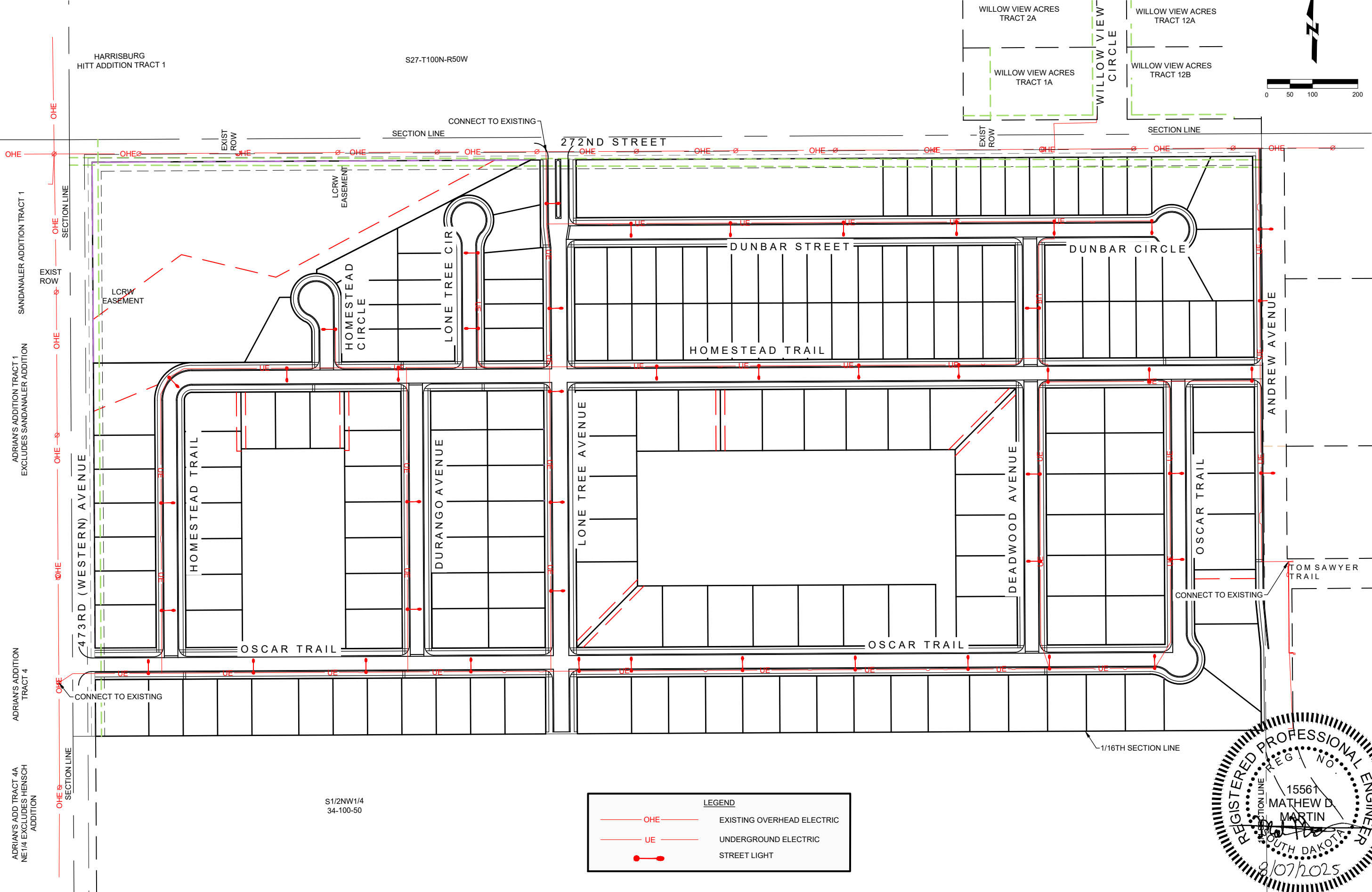
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PLOT DATE: 07/07/2025 1:08 PM Matthew Martin

ADRIAN'S ADD TRACT 4A
NE 1/4 EXCLUDES HENSCH
ADDITION

ADRIAN'S ADDITION
TRACT 4

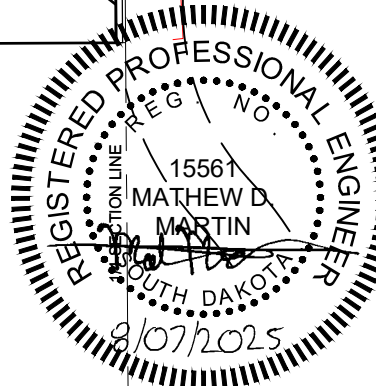
ADRIAN'S ADDITION TRACT 1
EXCLUDES SANDANALER ADDITION

SANDANALER ADDITION TRACT 1

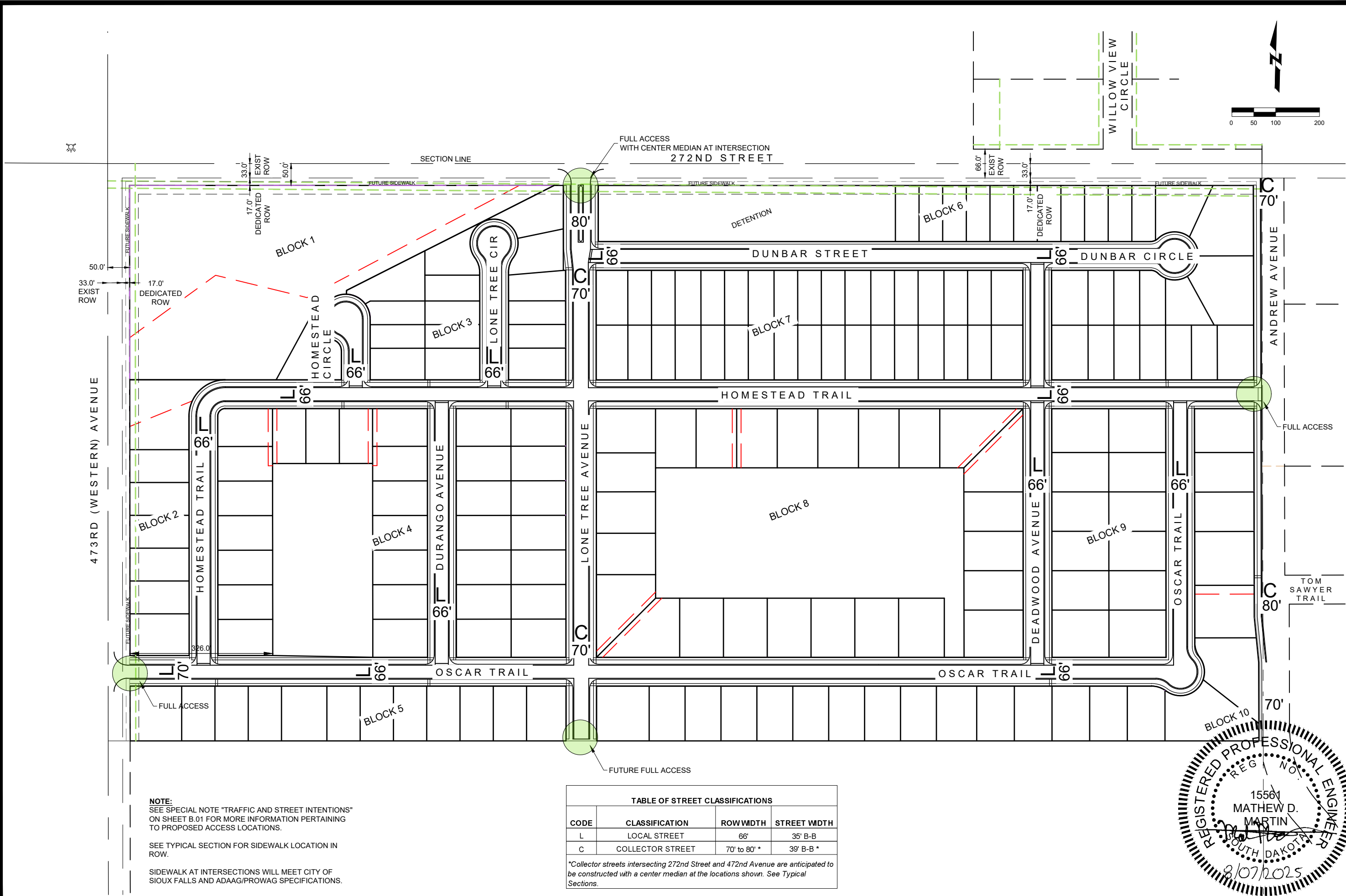


LEGEND

- OHE ——— EXISTING OVERHEAD ELECTRIC
- UE ——— UNDERGROUND ELECTRIC
- ——— STREET LIGHT



s:\0-2024 projects\042020 - lone tree development\Design\CAD\SHEET\preliminary subdivision plan\242020-L-Access Plan-Prelim.dwg
PLOT DATE: 07/20/25 1:00 PM Matthew Martin



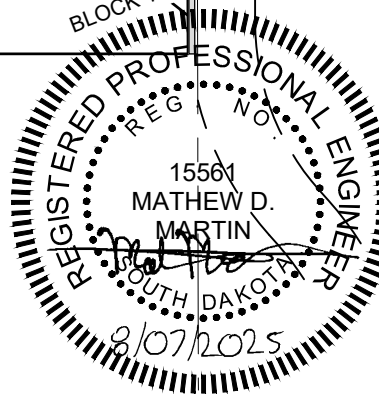
NOTE:
SEE SPECIAL NOTE "TRAFFIC AND STREET INTENTIONS"
ON SHEET B.01 FOR MORE INFORMATION PERTAINING
TO PROPOSED ACCESS LOCATIONS.

SEE TYPICAL SECTION FOR SIDEWALK LOCATION IN
ROW.

SIDEWALK AT INTERSECTIONS WILL MEET CITY OF
SIOUX FALLS AND ADAAG/PROWAG SPECIFICATIONS.

TABLE OF STREET CLASSIFICATIONS			
CODE	CLASSIFICATION	ROW WIDTH	STREET WIDTH
L	LOCAL STREET	66'	35' B-B
C	COLLECTOR STREET	70' to 80' *	39' B-B *

*Collector streets intersecting 272nd Street and 472nd Avenue are anticipated to be constructed with a center median at the locations shown. See Typical Sections.




LONE TREE ADDITION
PRELIMINARY SUBDIVISION PLAN
HARRISBURG, SD

ACCESS PLAN
DESIGNED BY: JDG
DRAWN BY: JDG
CHECKED BY: JDG
ACAD FILE: 242020-L-Access Plan-Prelim.dwg
DATE: _____
BY: _____
DATE: _____
REVISIONS:

infrastucture
design group, inc.

SHEET NO.
J.01

City of Harrisburg
Month-by-Month Comparison

	January			February			March			April			May									
	2023	2024	2025	2023	2024	2025	2023	2024	2025	2023	2024	2025	2023	2024	2025							
New Homes	1	0	1	1	10	1	2	6	8	16	10	13	9	4	6							
Lower-Level Finish	4	5	9	8	5	6	6	3	3	2	6	8	3	7	3							
Fence	0	0	2	0	2	0	0	9	7	12	16	17	19	30	11							
Non-Residential (Comm/Ind)	3	1	2	0	2	2	2	3	1	0	6	6	2	4	2							
Other	0	2	3	5	3	3	16	12	10	52	19	26	71	23	22							
Total Permits	8	8	17	14	22	12	26	33	29	82	57	70	104	68	44							
Running Total	8	8	17	22	30	29	48	63	58	130	120	128	234	188	172							
	June			July			August			September			October									
	2023	2024	2025	2023	2024	2025	2023	2024	2025	2023	2024	2025	2023	2024	2025							
New Homes	11	9	7	9	6	6	4	2	11	9	11		15	5								
Lower-Level Finish	2	2	4	2	3	6	5	2	2	2	5		1	5								
Fence	11	14	10	11	10	8	12	11	5	5	14		7	6								
Non-Residential (Comm/Ind)	0	5	4	0	7	1	2	8	13	1	4		3	5								
Other	33	16	18	35	16	20	30	25	2	13	20		14	14								
Total Permits	57	46	43	57	42	41	53	48	33	30	54	0	40	35	0							
Running Total	291	234	215	348	276	256	401	324	289	431	378	289	471	413	289							
	November			December			<div></div>									Permitted New Homes						
	2023	2024	2025	2023	2024	2025										2023	2024	2025				
New Homes	5	5		1	0														January	1	0	1
Lower-Level Finish	6	1		6	2														February	1	10	1
Fence	7	7		2	2														March	2	6	8
Non-Residential (Comm/Ind)	3	4		0	3														April	16	10	12
Other Permits	15	8		5	6														May	9	4	6
Total Permits	36	25	0	14	13	0													June	11	9	7
Running Total	507	438	289	521	451	289													July	9	6	6
																			August	4	2	11
										September	9	11										
										October	15	5										
										November	5	5										
										December	1	0										
										TOTAL	83	68	52									

	2024	2025
Total Valuation for August	15,329,841.00	4,260,960.00
Total YTD Valuation	62,912,174.96	33,939,660.00

Date	Permit #	Property Owner	Description of Project	Contractor	Total Valuation	Property Address	City
8/1/2025	2025-0331	Seney, Randy & Nancy	Deck	Pete Wodzinski Construction	12,000.00	207 W. Maple Street	Harrisburg
8/4/2025	2025-0332	Seifel, Jane	Accessory Building	Seifel, Jane	3,800.00	509 Legendary Drive	Harrisburg
8/4/2025	2025-0333	Metastone Capital Group, LLC	Residential Reshingle	Radiant Roofing & Siding	9,900.00	110 Ivy Lane	Harrisburg
8/4/2025	2025-0336	Edlefson, Peter & Hollie	Residential Reshingle	360 Builders, Inc.	19,300.00	702 St. Gregory Street	Harrisburg
8/8/2025	2025-0322	Benolkin, Cameron	Deck	Benolkin, Cameron	9,000.00	800 Kent Street	Harrisburg
8/8/2025	2025-0338	Black Dog Storage	Non-Residential Fence	Complete Fence	3,415.00	1025 N. Cliff Avenue	Harrisburg
8/8/2025	2025-0343	Signature Companies	Fence	Complete Fence	9,252.00	530 Brookside Place	Harrisburg
8/11/2025	2025-0339	Dubs, Bryn & Lindsey	Fence	Dubs, Bryn	4,000.00	103 w. Maple Street	Harrisburg
8/12/2025	2025-0351	Brickman, Bryan & Julie	Deck	Brickman, Bryan	7,000.00	607 Perry Lane	Harrisburg
8/13/2025	2025-0355	Smith, Michael & Leslie	Fence	Extraordinaire Fence Co.	22,398.00	1808 Tom Sawyer Trail	Harrisburg
8/14/2025	2025-0317	Schoenfelder, Ryan	Lower-Level Finish	Schoenfelder, Ryan	12,000.00	617 Raven Avenue	Harrisburg
8/14/2025	2025-0354	Sturges, Alicia	Deck	F & D Construction	21,000.00	435 Andrew Avenue	Harrisburg
8/14/2025	2025-0359	West, Bart & Lynette	Deck	Juranek Home Improvements	11,500.00	308 Railroad Avenue	Harrisburg
8/14/2025	2025-0323	Vavra Construction	New Single-Family Home (1/2 Townhouse)	Vavra Construction	250,000.00	511 Bunyan Drive	Harrisburg
8/14/2025	2025-0324	Vavra Construction	New Single-Family Home (1/2 Townhouse)	Vavra Construction	250,000.00	515 Bunyan Drive	Harrisburg
8/14/2025	2025-0358	Sherman, Ryan & Crystal	Accessory Building	Sherman, Ryan	4,000.00	707 Leonard Street	Harrisburg
8/19/2025	2025-0334	Glammeier, Daniel	New Single-Family Home	Glammeier, Daniel	400,000.00	833 Yuzina Avenue	Harrisburg
8/19/2025	2025-0356	North Star Builders, LLC	New Single-Family Home	North Star Builders, LLC	459,000.00	1006 Birch Street	Harrisburg
8/19/2025	2025-0357	North Star Builders, LLC	New Single-Family Home	North Star Builders, LLC	459,000.00	1012 Birch Street	Harrisburg
8/19/2025	2025-0361	Showplace Wood Products, Inc.	On-Premises Sign	Pride Neon	2,195.00	1 Enterprise Street	Harrisburg
8/20/2025	2025-0362	Nielsen Living Trust	Fence	American Fence Company	5,600.00	204 S. Shebal Avenue	Harrisburg
8/20/2025	2025-0365	Harvison, Jack & Sara	Residential Reshingle	Ironclad Construction, LLC	8,950.00	507 Rosewood Drive	Harrisburg
8/20/2025	2025-0366	Smith, William	Residential Reshingle	Ironclad Construction, LLC	9,500.00	700 Chestnut Street	Harrisburg
8/20/2025	2025-0222	KN Construction	New Single-Family Home	KN Construction	554,850.00	607 Serenity Place	Harrisburg
8/20/2025	2025-0224	KN Construction	New Single-Family Home	KN Construction	563,100.00	645 Serenity Place	Harrisburg
8/25/2025	2025-0370	Willi, Justin	Lower-Level Finish	Willi, Justin	10,000.00	106 Atlantic Circle	Harrisburg
8/25/2025	2025-0374	Boehmer, Kyle	Deck	Boehmer, Kyle	3,000.00	106 Anna Way	Harrisburg
8/25/2025	2025-0375	Brooks, Jeni	Fence	Acreage Fence	10,000.00	405 Grand Avenue	Harrisburg
8/27/2025	2025-0380	RK Mendonsa Trust	Residential Reshingle	Classic Homes by Mike Lewis	7,200.00	507 Almond Avenue	Harrisburg
8/27/2025	2025-0379	Genuine Builders, Inc	New Single-Family Home	Genuine Builders, Inc	280,000.00	140 Patricia Street	Harrisburg
8/28/2025	2025-0371	Genuine Builders, Inc	New Single-Family Home	Genuine Builders, Inc	280,000.00	121 Patricia Street	Harrisburg
8/28/2025	2025-0372	Genuine Builders, Inc	New Single-Family Home	Genuine Builders, Inc	280,000.00	127 Patricia Street	Harrisburg
8/28/2025	2025-0340	Genuine Builders, Inc	New Single-Family Home	Genuine Builders, Inc	280,000.00	133 Patricia Street	Harrisburg